

**Village of Holmen
Planning Commission Minutes
May 26, 2020**

Village President Barlow called the Planning Commission meeting to order at 6:30PM on Tuesday, May 26, 2020. Present were commission members Barlow, Stanek, Kulcinski, Gill, Appold, Kertis, and Grokowsky; along with advisory members Administrator Heinig and Engineer Dahl. Also in attendance: Bob Glise, Chris Walters, Greg Townsend, Nancy McGuire, and Doug.

Public Hearings:

Change of Zoning (Rezoning) Petition from Living Property Services from (R-1) Single Family Residential District to (R-7) Townhouse Residential District on lots 2 and 3 on the East side of County SN, North of Grant Street and South of Alpine Lane

Motion by Stanek, seconded by Kulcinski to open the public hearing for the above referenced item. Carried 7-0:

Administrator Heinig explained the location of the parcels and that the purpose of rezoning were to allow for the construction of a four-plex townhouse.

Greg Townsend 502 Alpine Lane stated that he has filled part of his low lying property adjacent to the parcel to protect his home from water. He asked if the buildings would be constructed on a slab, or with a basement. Greg also stated he has concerns that the new structure could have stormwater impacts to his property.

Nancy McGuire 1810 Pinecrest Ave asked if the proposed building would be a 1 or 2 story structure, and asked whether stormwater would end up on her property.

Doug 1810 Pinecrest Ave asked if the proposed building would have appropriate setbacks to not encroach on the retention pond.

Motion by Appold, seconded by Grokowsky to close the public hearing. Motion carried 7-0.

Approval of the April 28, 2020 Minutes:

Motion by Kertis, seconded by Kulcinski to approve the minutes of the April 28, 2020 Meeting. Carried 7-0.

Public comment:

None

Agenda Items:

Possible Action and Recommendation on Living Property Services Petition for Change of Zoning from (R-1) Single Family Residential District to (R-7) Townhouse Residential

District on lots 2 and 3 on the East side of County SN, North of Grant Street and South of Alpine Lane

Administrator Heinig stated the 2-4 units proposed was not a significant increase in density and that the proposed use was compliant with the comprehensive plan. He stated that the setback from the Sand Lake Road right-of-way would be 25 feet. He stated that the buildings would likely be 2 story structures, and added that the buildings would be reviewed by the planning commission for approval. He stated that other properties owned by this investor are rentals, and felt that these would also become rental properties. He added that this body cannot regulate occupancy type, only the density of occupancy can be regulated here. He stated that it is likely that the site will be raised as part of the improvement and that the stormwater from this site will be directed to the adjacent stormwater pond which has adequate capacity. He stated the spring 2019 quick melt had the characteristics of a 500 year event due to rapid snow melt and frost preventing any infiltration which caused issues at this infiltration pond and throughout the Village. He also stated that the adjacent landowners could take preventative measures on their own property to protect them if a similar event were to occur.

Member Kertis asked if the parcels were still owned by the Village. Administrator Heinig stated they were owned by the Village, but not actively marketed. The rezoning of these parcels would be a contingency of the sale of the parcels.

Member Barlow asked if the utilities were accessible to these parcels and if the hydraulics and SPAR reviews would be shared with citizens who were interested. Administrator Heinig stated that the water and sewer was already on-site. The hydraulic calculations would be required as part of a SPAR review. Although no individual notices would be provided to the concerned citizens, the meetings agendas are publicly posted and the meetings are open to the public.

Motion by Stanek, seconded by Gill to recommend approval of the Living Property Services Petition for Change of Zoning from (R-1) Single Family Residential District to (R-7) Townhouse Residential District on lots 2 and 3 on the East side of County SN, North of Grant Street and South of Alpine Lane. Carried 7-0

Possible Action on Site Plan & Architectural Review (SPAR) Petition from Bluff View Bank and DBS Group, for new bank office at 1761 Spakenburg Road.

Administrator Heinig explained the proposed building is located across Staphorst Lane from the existing Bluffview Bank. He stated that the selected materials and ratios are in compliance and consist of brick, stone, and metal. He stated that the building will face Spakenburg Road and that access will be also be from Spakenburg Road and that he does not have access concerns. The signage will also be along Spakenburg Road and will have a ground monument for all 3 lots on Spakenburg Road. He stated that the submittal's landscaping plan was well done and meets all requirements. He added that the submittal's lighting also meets the SPAR requirements. He stated that the submittal does not include sidewalk. The remainder of the subdivision has sidewalk, and he recommends sidewalk be added as a condition of the approval as the sidewalk is required. Finally he stated the ground monument needs to be finalized and that this could be administratively approved.

Motion by Appold, seconded by Kulcinski to recommend approval of the Site Plan & Architectural Review (SPAR) Petition from Bluff View Bank and DBS Group, for new bank office at 1761 Spakenburg Road (actual address 1749 Spakenburg Road); contingent upon the addition of sidewalk and ground monument details be submitted for administrative approval. Finding that the purposes and guidelines of the SPAR Ordinance have been reasonably met, regarding the entire proposed site plan, all external building colors and materials, overall building layout and design, site and building lighting, site and building signage, and site landscaping. Carried 7-0.

Possible Action on Site Plan & Architectural Review (SPAR) Petition from Bob Glise and MBA Project Management, LLC., for five unit townhouse at 1818 Prairie Place.

Administrator Heinig explained the location of the proposed buildings is adjacent to two similar projects approved on Prairie Place. He stated that the building will have masonry extending up 50% of the front, and 33% of the sides, with the remaining building being LP sided. He stated the landscaping plan is missing some details needed, although the proposal could be moved forward with the understanding that the landscaping and colors be submitted for administrative approval.

Bob Glise stated the large healthy trees in the back of the building would be left and asked what the landscape requirements would be. Administrator Heinig stated that there is a formula for the type and amount of landscaping. He added that he would anticipate a 500 point count be required and that the plan as submitted may only be 50-100 points.

Motion by Stanek, seconded by Gill to approve the Site Plan & Architectural Review (SPAR) Petition from Bob Glise and MBA Project Management, LLC., for five unit townhouse at 1818 Prairie Place; contingent upon administrative approval of the landscaping plan and color scheme. Finding that the purposes and guidelines of the SPAR Ordinance have been reasonably met, regarding the entire proposed site plan, all external building colors and materials, overall building layout and design, site and building lighting, site and building signage, and site landscaping. Carried 7-0.

Updates and other informational items from and before the Planning Commission:

Member Stanek asked for an update on the waste water treatment plant. Engineer Dahl stated that the work on the oxidation ditch is near completion and they are preparing for work on the rehabilitation of the clarifier. Administrator Heinig stated the project is approximately 71% complete.

Adjourn:

Motion by Kulcinski, seconded by Appold to adjourn at 7:08 pm. Carried 7-0.

Minutes prepared by Chris Dahl, Village Engineer

Village of Holmen
La Crosse County, WI

Notice of Public Hearing on a Change of Zoning (Rezoning) Petition

NOTICE IS HEREBY GIVEN that the Holmen Village Planning Commission will hold a Public Hearing during their Regular Meeting in the Holmen Village Hall, at 421 S. Main Street, Holmen, WI, 54636, on the 26th day of May, 2020, at 6:30pm, on the proposed Change of Zoning (Rezoning) Petition as follows:

Living Property Services (petitioner) is petitioning for a rezone of Village owned property (lots 2 and 3 on the East side of County SN—just North of Grant Street and South of Alpine Lane) from (R-1) Single Family Residential District to (R-7) Townhouse Residential District, for the intended purpose of building one four-plex side-by-side townhome on the combined two lots. The Village of Holmen Comprehensive Plan and Future Land Use designation for the property supports lower density residential uses; thus the potential addition of only two additional residential units is consistent with the Comprehensive Plan.

All pursuant to applicable Wisconsin Statutes and Holmen Village Ordinances, all interested parties are welcome to attend and may be heard during the public hearing. For more information prior to the public hearing, the petition is on file at the office of the Holmen Village Clerk, La Crosse County, Wisconsin, 421 Main Street, 54636, or you may contact the Village Administrator at 608-526-4336.

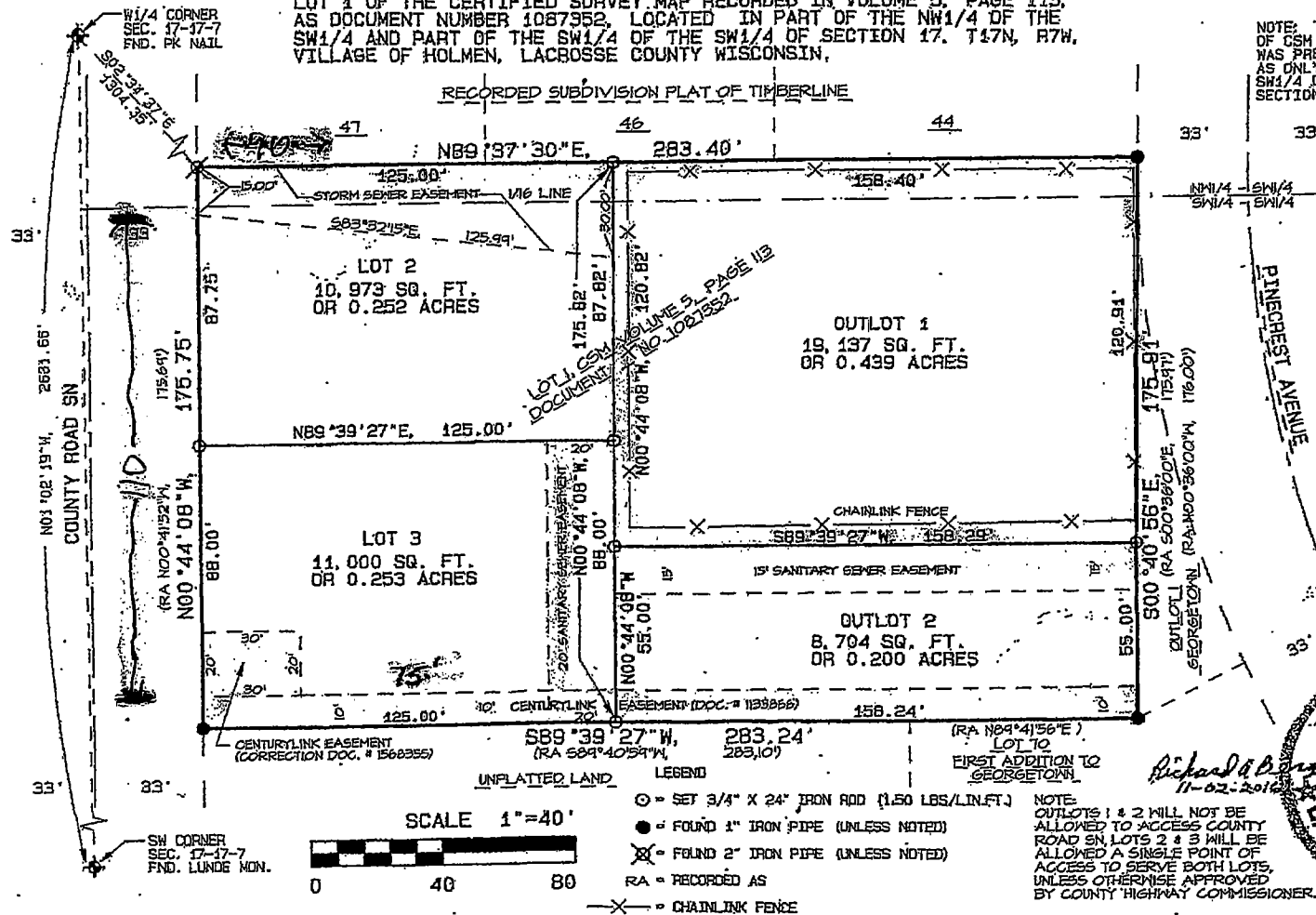
HOLMEN VILLAGE BOARD
BY: Scott Heinig, Village Administrator

To be published: May 8, 2020 and May 15, 2020

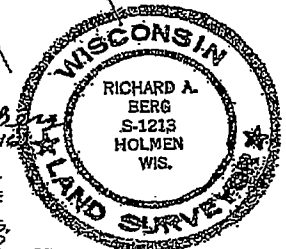
CERTIFIED SURVEY MAP

LOT 1 OF THE CERTIFIED SURVEY MAP RECORDED IN VOLUME 5, PAGE 113,
AS DOCUMENT NUMBER 1087352, LOCATED IN PART OF THE NW1/4 OF THE
SW1/4 AND PART OF THE SW1/4 OF THE SW1/4 OF SECTION 17, T17N, R7W,
VILLAGE OF HOLMEN, LACROSSE COUNTY WISCONSIN.

NOTE: THE LOCATION OF LOT 1
OF CSM VOL. 5, PAGE 113
WAS PREVIOUSLY DESCRIBED
AS ONLY BEING IN THE
SW1/4 OF THE SW1/4 OF
SECTION 17, T17N, R7W.

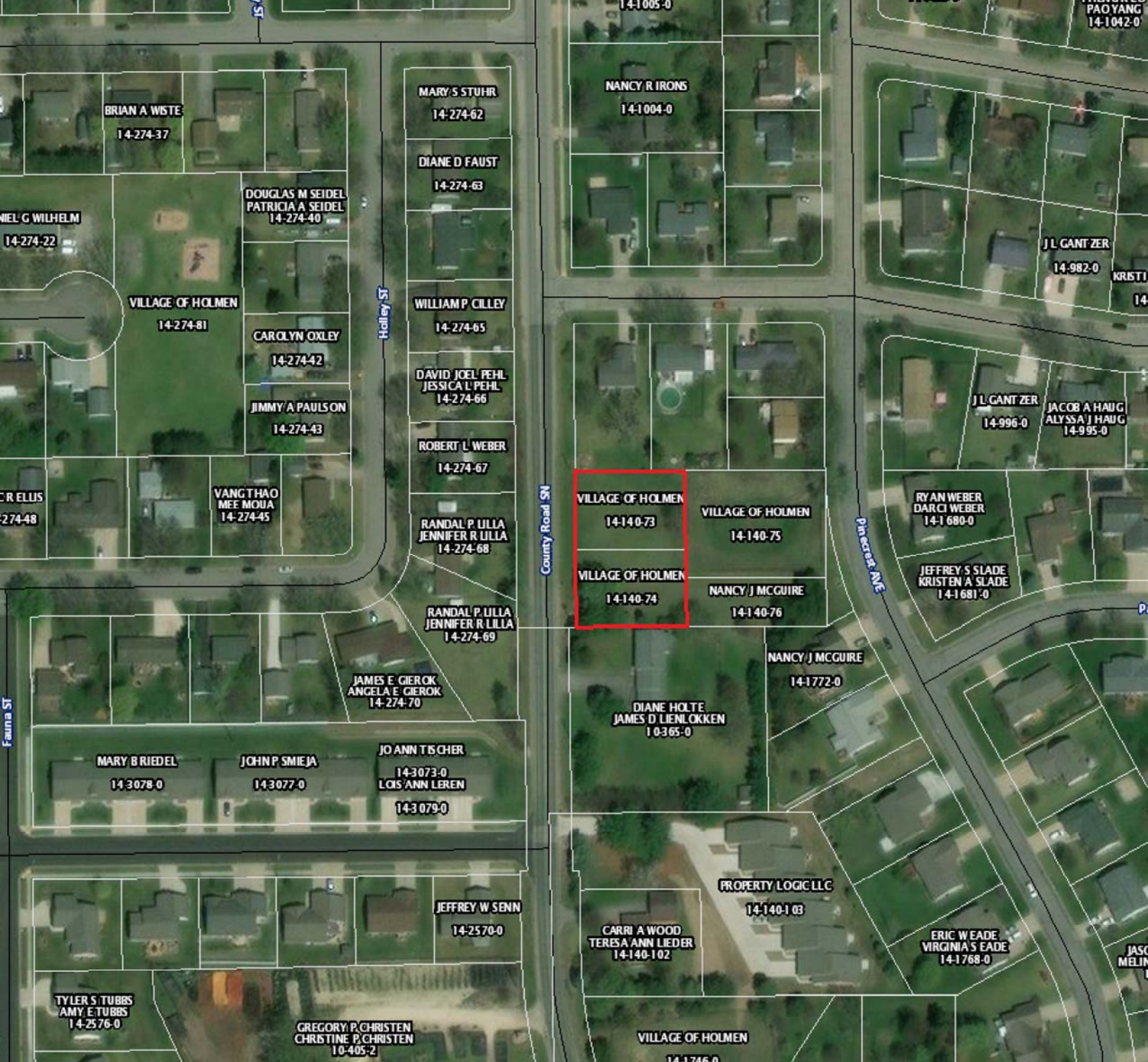


BEARINGS ARE REFERENCED TO THE WEST
LINE OF THE SW1/4 OF SECTION 17, T37N,
R7W, ASSUMED TO BEAR N01°08'19"W



SHEET 1 OF 2

VH-370



PROGRESS SET
NOT FOR CONSTRUCTION
4/24/2020

BLUFF VIEW BANK

SPAKENBEG ROAD
HOLMEN, WISCONSIN 54636



CIVIL SHEET INDEX:

C1.10 PROJECT LOCATION AND GENERAL NOTES
C1.11 SITE PLAN
C1.20 GRADING PLAN
C1.30 EROSION CONTROL PLAN
C1.40 EXISTING SITE SURVEY
C5.00 CONSTRUCTION DETAILS

LEGEND:

UTILITY	
EXISTING:	
— W — W —	WATERMAIN
— E — E —	BURIED ELECTRIC
— CHW — CHW —	OVERHEAD WIRE
— GAS — GAS —	GAS LINE
— SAN — SAN —	SANITARY SEWER
— ST — ST —	STORM SEWER
⊙	UTILITY POLE
⊙	LIGHT POLE
⊙	SANITARY MANHOLE
⊙	FIRE HYDRANT
⊙	WATER VALVE
⊙	STORM SEWER STRUCTURE
PROPOSED:	
— W — W —	WATERMAIN
— E — E —	ELECTRICAL LINE
— GAS — GAS —	GAS LINE
— SAN — SAN —	SANITARY SEWER
— ST — ST —	STORM SEWER
⊙	WATER VALVE
⊙	STORM SEWER STRUCTURE
⊙	FLARED END SECTION

GRADING	
EXISTING:	
— 160 —	MAJOR CONTOUR
— 160 —	MINOR CONTOUR
EXIST 100.00	EXISTING SPOT ELEVATION
PROPOSED:	
— 160 —	MAJOR CONTOUR
— 160 —	MINOR CONTOUR
↑ 100.00	SPOT ELEVATION (FINISHED GRADE, TOP OF PAVEMENT, FLANGE OF CURB)
↑ DOOR 100.00	DOOR ELEVATION
↑ GR 100.00	GROUND GRADE AT BUILDING
↑ 100.50/T/C	SPOT ELEVATION (T/C - TOP OF CURB, E/P - EDGE OF PAVEMENT)
↑ 100.00/E/P	RETAINING WALL SPOT ELEVATION (T/W - TOP OF WALL, B/W - GROUND GRADE AT BOTTOM)
↑ 100.50/T/W	FLARED END SECTION (PIPE SIZE, INVERT ELEVATION)
↑ 12" FES	FLARED END SECTION (PIPE SIZE, INVERT ELEVATION)
→	DRAINAGE FLOW DIRECTION
→	EMERGENCY OVERFLOW ROUTE

SITE	
EXISTING:	
⊗	EXISTING PARKING COUNT
⊗	EXISTING SIGN
⊗	EXISTING ADA PARKING SPACE
PROPOSED:	
⊗	PARKING COUNT
⊗	ADA PARKING SPACE
⊗	SIGN
⊗	TRUNCATED DOMES
→	PAVEMENT MARKING DIRECTIONAL ARROWS

GENERAL NOTES AND SPECIFICATIONS:

- THE EXISTING SITE INFORMATION ON THIS PLAN WAS TAKEN FROM A SITE SURVEY PROVIDED BY CAPTOL SURVEY ENTERPRISES. THE ENGINEER MAKES NO WARRANTY OR REPRESENTATION WITH REFERENCE TO THE ACCURACY AND COMPLETENESS OF THE EXISTING CONDITIONS INDICATED OR NOT INDICATED ON THE ENGINEERING PLANS PROVIDED. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING SITE CONDITIONS INCLUDING UNDERGROUND UTILITIES, UNDERGROUND UTILITY ELEVATIONS, BUILDING SETBACKS AND EXISTING BUILDING LOCATIONS. THE CONTRACTOR SHALL INFORM THE OWNER AND ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WITH WORK. QUESTIONS REGARDING THE EXISTING SURVEY SHALL BE DIRECTED TO THE PARTIES LISTED ABOVE.
- BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL TO BE CONNECTED TO VERIFYING ELEVATION, LOCATION AND SIZE. SHOULD THE EXISTING UTILITY NOT BE AS INDICATED ON THE PLAN, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR EVALUATION.
- ALL UTILITY CONSTRUCTION SHALL ADHERE TO THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (2003), AS WELL AS, THE MUNICIPAL CONSTRUCTION STANDARDS AND THE DEPT. OF SAFETY AND PROFESSIONAL SERVICES SEC. 302-307.
- ALL PERMITS MUST BE RECEIVED FROM THE MUNICIPALITY AND WDNR (IF REQUIRED) PRIOR TO THE START OF CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL APPLICABLE PERMITS ARE RECEIVED PRIOR TO STARTING CONSTRUCTION.
- NOTIFY THE PUBLIC WORKS INSPECTION DEPT. AT LEAST 48 HOURS BEFORE STARTING CONSTRUCTION.
- BACKFILL REQUIREMENTS AND ROADWAYS/SIDEWALK RESTORATION SHALL ADHERE TO LOCAL STANDARDS (GRAVEL BACKFILL UNDER OR WITHIN 8" OF CURBS, SIDEWALK, OR PAVEMENT. SPOIL MAY BE USED ELSEWHERE. SLURRY BACKFILL WILL BE REQUIRED IN PUBLIC ROADWAYS.)
- ALL BUILDING UTILITIES SHALL BE VERIFIED WITH THE ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.
- ALL PROPOSED WATERMAIN SHALL BE PVC SDR 18, CLASS 150, AWWA C900 WITH ELASTOMERIC JOINTS.
- PROPOSED SANITARY SEWER PIPE SHALL BE PVC, ASTM D-3034, SDR 35 WITH RUBBER GASKETED JOINTS CONFORMING TO ASTM D-3212.
- PROPOSED STORM SEWER SHALL BE PVC, ASTM D-3034, SDR 35 WITH RUBBER ELASTOMERIC JOINTS CONFORMING TO ASTM D-3212 (UNLESS OTHERWISE NOTED).
- A MEANS TO LOCATE BURIED UNDERGROUND EXISTING NONMETALLIC UTILITIES MUST BE PROVIDED. PROVIDE TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORD WITH THE PROVISIONS SECTIONS 162.0715(2)(b) OF THE STATE STATUTES.
- UTILITY TRENCHES SHALL BE MECHANICALLY COMPACTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.
- ALL MANHOLES, CATCH BASINS, INLETS, VALVES BOXES, ETC WITHIN THE PROJECT AREA SHALL BE RESET AND ADJUSTED TO MATCH FINISH GRADE.
- ALL EXCAVATED OR STRIPPED MATERIALS NOT BEING REPLACED IN UTILITY TRENCHES OR BEING USED FOR FILL SHALL BE REMOVED FROM THE SITE, UNLESS OTHERWISE DIRECTED BY THE OWNER.
- SEE ARCHITECTURAL PLANS FOR EXACT BUILDING & FOUNDATION DETAILS AND ORIENTATION.
- ALL ON-SITE CONCRETE CURB AND GUTTER TO BE 18" WIDE VERTICAL FACE, UNLESS OTHERWISE NOTED. REVERSE OR REGULAR STYLE CURB DENOTED ON PLANS.
- ALL CURB ELEVATIONS ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED. SEE CURB DETAIL FOR TOP OF CURB ELEVATIONS.
- ALL CURB RADII ARE MEASURED TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL MATCH PROPOSED CONCRETE CURB AND GUTTER, SIDEWALK AND PAVEMENT TO EXISTING IN ELEVATION AND ALIGNMENT.
- REMOVAL OF CURB AND GUTTER, SIDEWALK AND PAVEMENT SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE WISCONSIN D.O.T.
- ALL CONCRETE FOR CURB AND GUTTER, ROADWAY AND SIDEWALKS MUST CONFORM TO THE STANDARD SPECIFICATIONS FOR READY MIXED CONCRETE. MINIMUM 28 DAY COMPRESSIVE STRENGTH TEST MUST EQUAL 4000 PSI.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL PROPERTY CORNERS.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING UTILITIES OR SITE IMPROVEMENTS. CONTRACTOR SHALL DOCUMENT ALL EXISTING DAMAGE PRIOR TO START OF CONSTRUCTION AND NOTIFY CONSTRUCTION MANAGER OF ANY FINDINGS.
- PROJECT SAFETY ON-SITE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING SOIL CONDITIONS, CONSTRUCTION MANAGER MAY HAVE SOILS REPORT FOR MORE INFO.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER WITH A SET OF MARKED UP PLANS (AS-BUILTS) SHOWING ANY CHANGES DURING CONSTRUCTION.

Project Location
& General Notes

C1.10

PROGRESS SET
NOT FOR CONSTRUCTION
4/24/2020

BLUFF VIEW BANK

SPAKENBEG ROAD
HOLMEN, WISCONSIN 54636

	5/12/20	SPAR SUBMITTAL
	4/24/20	DESIGN DEVELOPMENT
MARK	DATE	DESCRIPTION

PROJECT NO:

DATE: 4/24/2020

DRAWN BY: BMS

CHK'D BY: TBO

COPYRIGHT 2020

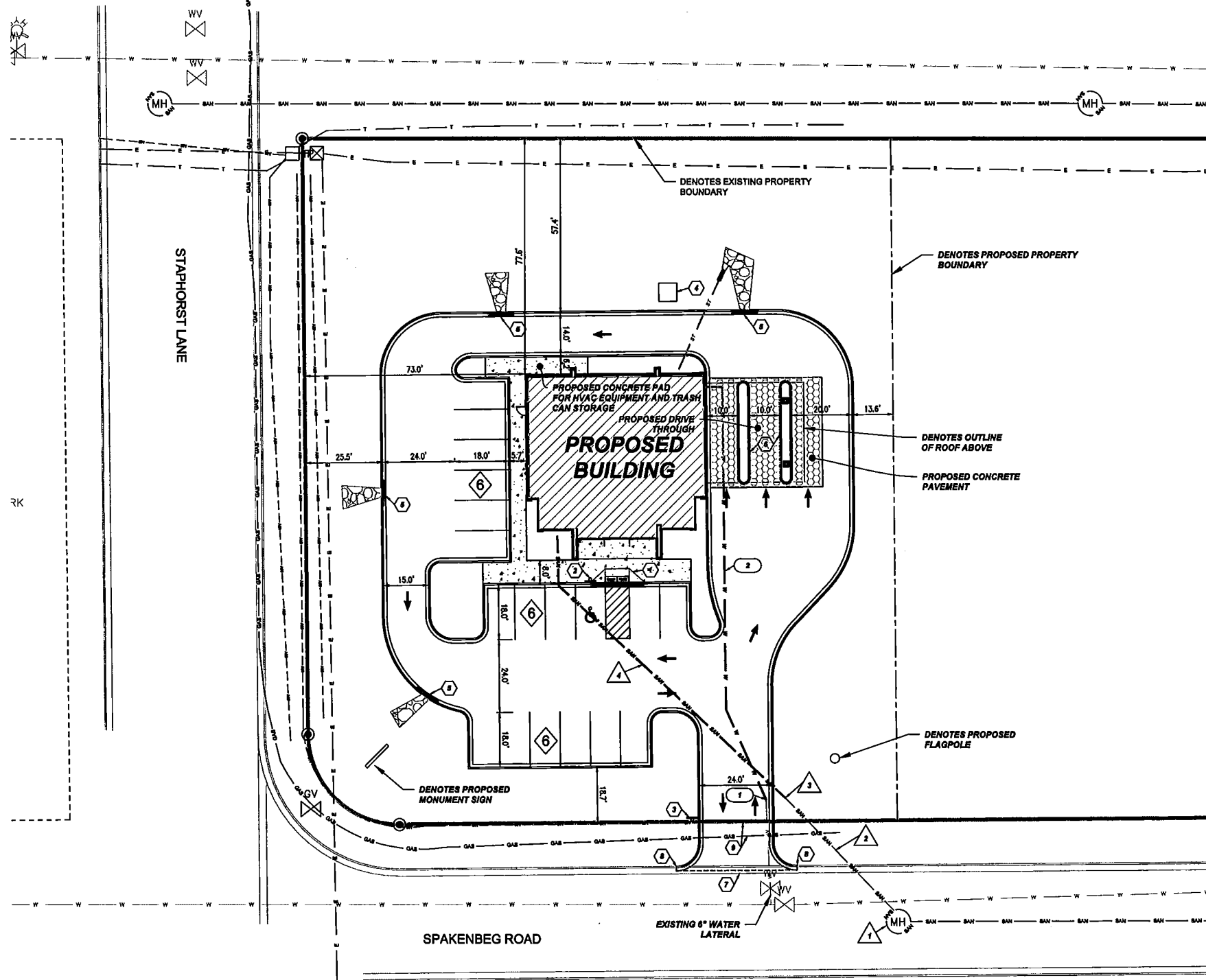
BRANDPOINT DESIGN, LLC

SHEET TITLE

Site Plan

C1.11

STH 35



UTILITY TAGS

SANITARY

- EXISTING SANITARY MANHOLE
RIM = 709.52
8" PVC (E) = 699.80
- EXISTING SANITARY LATERAL PER
VILLAGE RECORDS. VERIFY EXACT
LOCATION, SIZE AND ELEVATION PRIOR
TO STARTING CONSTRUCTION.
- LOCATE AND CONNECT TO EXISTING
SANITARY LATERAL.
- PROPOSED 110 L.F. 8" PVC SANITARY
SEWER @ S=1.00% MIN. INVERT AT
BUILDING = 705.50. (SEE PLUMBING
PLANS)

WATER

- CONNECT TO EXISTING 8" WATER LATERAL. REDUCE
DOWN TO 2" PER VILLAGE REQUIREMENTS. VERIFY
EXACT SIZE AND LOCATION PRIOR TO STARTING
CONSTRUCTION.
- PROPOSED 144 L.F. 3" HDPE WATERMAIN. SEE
PLUMBING PLANS FOR CONTINUATION AT BUILDING

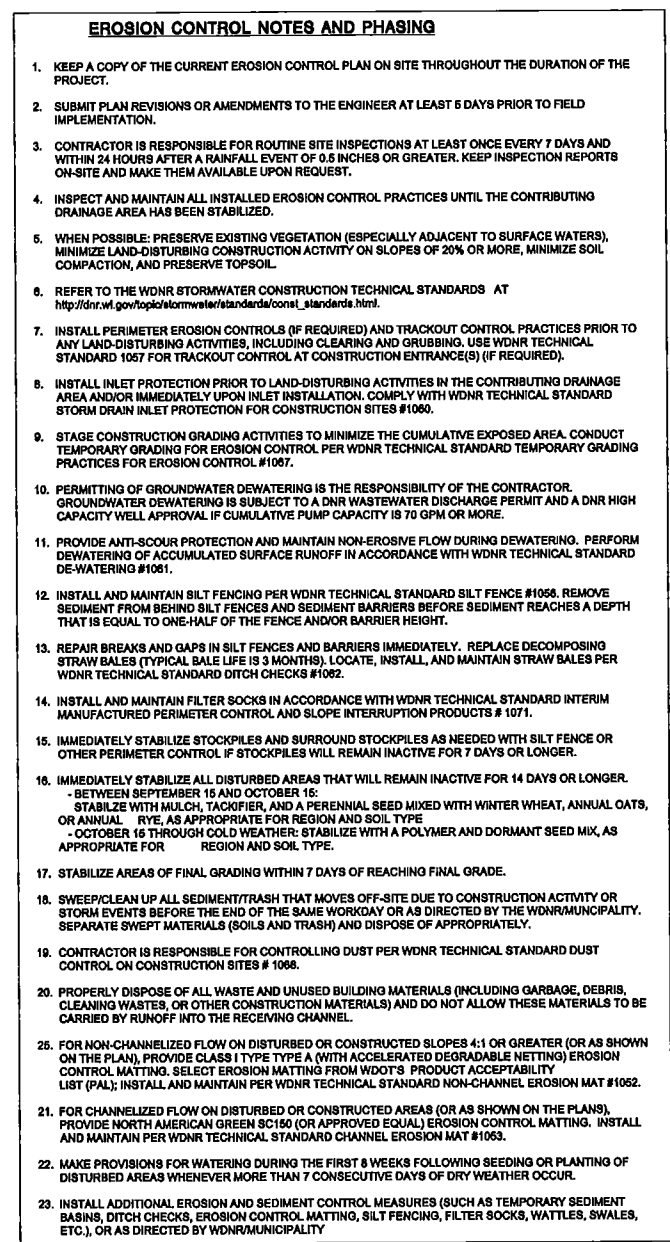
NOTES

- DENOTES PROPOSED HANDICAP RAMP (TYPE 1), 8 L.F.
DEPRESSED CURB WITH 6" CURB TAPERS (BOTH SIDES)
AND TRUNCATED DOMES.
- DENOTES PROPOSED HANDICAP SIGN.
- DENOTES PROPOSED STOP SIGN.
- DENOTES PROPOSED TRANSFORMER LOCATION.
CONTRACTOR TO COORDINATE EXACT LOCATION AND
SERVICE ROUTE WITH UTILITY COMPANY.
- DENOTES PROPOSED CURB OPENING, 3 L.F.
DEPRESSED CURB WITH 3" CURB TAPERS.
- DENOTES PROPOSED ISLAND FOR DRIVE THRU
EQUIPMENT. COORDINATE EXACT SIZE AND EQUIPMENT
REQUIREMENTS PRIOR TO CONSTRUCTION.
- REMOVE EXISTING CURB AND REPLACE WITH VILLAGE
STANDARD DEPRESSED STYLE.
- MATCH INTO EXISTING CURB.
- CAUTION! EXISTING UTILITY CROSSING. VERIFY EXACT
LOCATION AND ELEVATION PRIOR TO STARTING
CONSTRUCTION.
- MAINTAIN A MINIMUM OF 18" VERTICAL SEPARATION
WHERE WATER CROSSES SANITARY.

SITE CALCULATION TABLE

TOTAL SITE AREA	43,788 SF
TOTAL DISTURBED AREA	37,400 SF
PROPOSED IMPERVIOUS AREA	19,782 SF
PROPOSED GREENSPACE	24,006 SF

PROPOSED REGULAR PARKING SPACES	17
PROPOSED HANDICAP PARKING	1
PROPOSED TOTAL PARKING	18





CAPITOL SURVEY ENTERPRISES
220 REGENCY CT. STE. 210
BROOKFIELD, WI 53048
PH: (262) 786-6600
FAX: (414) 755-6608
WWW.CAPITOLSURVEY.COM

LEGAL DESCRIPTION:

LOT 1, BLOCK 1, MCCLURAY PARK, A SUBDIVISION OF LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11 & 12, BLOCK ONE, LOTS 1, 2, 3, 4, 5 & 6, BLOCK TWO, LOTS 1, 2, 3, 4, 5 & 6, BLOCK THREE, LOTS 1 AND 2, BLOCK FOUR AND LOTS 1, 2, & 3, BLOCK FIVE AND THE VACATED STREETS IN DOCUMENT NO. 1703990 OF HOLLAND BUSINESS PARK, PART OF THE NW 1/4 OF THE NW 1/4, PART OF THE NE 1/4 OF THE NW 1/4, PART OF THE SE 1/4 OF THE NW 1/4, PART OF THE NW 1/4 OF THE NW 1/4 OF THE NW 1/4, PART OF NW 1/4 OF THE NE 1/4 AND PART OF NE 1/4 OF THE NE 1/4, ALL IN SECTION 35, T18N, R8W, VILLAGE OF HOLMEN, LA CROSSE COUNTY, WI.

CONTAINING: 130673 SQUARE FEET OR 2.99 ACRES.

NOTES

- LEGAL DESCRIPTION BASED ON INFORMATION FROM LA CROSSE COUNTY.
- THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, ON INFORMATION FURNISHED BY THE UTILITY COMPANIES, DIGGERS HOTLINE AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
- SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION X: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN PER INFORMATION FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 550830031SD, WITH A DATE OF IDENTIFICATION OF 1/08/2012, IN COMMUNITY NO. 550219 VILLAGE OF HOLMEN, WHICH IS THE COMMUNITY IN WHICH THE SUBJECT PROPERTY IS SITUATED.
- PROJECT BENCHMARK - NORTH RIM OF CATCH BASIN FOUND TO THE NORTH RIM OF THE EASTERMOST MANHOLE IN SPAKENBEG ROAD SHOWN EL. = 708.48.
- SITE BENCHMARKS - FLANGE BOLTS OF HYDRANTS AS SHOWN HEREON.
- ELEVATIONS BASED ON INFORMATION FROM THE VILLAGE OF HOLMEN AND ARE AT VILLAGE OF HOLMEN DATUM.
- SURVEY DATUM: COORDINATES ARE BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM (WCCS), LA CROSSE COUNTY, NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT (NAD83(2011)).

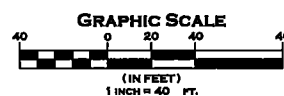
NOTE: SURVEY COMPLETED BY CAPITOL SURVEY ENTERPRISES. THE ENGINEER MAKES NO WARRANTY OR REPRESENTATION WITH REFERENCE TO THE ACCURACY AND COMPLETENESS OF THE EXISTING CONDITIONS INDICATED OR NOT INDICATED ON THE ENGINEERING PLANS PROVIDED.

LEGEND		
— SAN —	SANITARY SEWER	⊠ ELECTRIC TRANSFORMER
— ST —	STORM SEWER	⊠ ELECTRIC METER
— W —	WATER MAIN	⊠ ELECTRIC PEDestal
— G —	GAS LINE	⊠ ELECTRIC BOX AT GRADE
— TEL —	BURIED TELEPHONE LINE	⊠ TELEPHONE PEDestal
— E —	BURIED ELECTRIC LINE	⊠ TV PEDestal
— FO —	BURIED FIBER OPTIC LINE	⊠ GAS METER
— CATV —	BURIED CABLE TELEVISION LINES	⊠ AIR CONDITIONER
— COMB —	COMBINATION SEWER	⊠ UTILITY POLE
— WOOD FENCE —	WOOD FENCE	⊠ WOOD SIGN
— METAL FENCE —	METAL FENCE	⊠ FLAD POLE
— BOLLARD —	BOLLARD	⊠ WOOD LIGHT POLE
— BOLLARD LIGHT —	BOLLARD LIGHT	⊠ METAL LIGHT POLE
— YARD LIGHT —	YARD LIGHT	⊠ CONCRETE LIGHT POLE
— FIRE DEPARTMENT CONNECTION —	FIRE DEPARTMENT CONNECTION	⊠ VAL BOX
— HYDRANT —	HYDRANT	⊠ FIBER OPTIC MARKER
— WATER VALVE —	WATER VALVE	⊠ DUTY MARK
— GAS VALVE —	GAS VALVE	
— MANHOLE —	MANHOLE	
⊙ STORM MANHOLE	STORM MANHOLE	
⊙ CATCH BASIN	CATCH BASIN	
⊙ CURB INLET	CURB INLET	
⊙ METAL LIGHT POLE	METAL LIGHT POLE	
⊙ CONCRETE LIGHT POLE	CONCRETE LIGHT POLE	
⊙ VAL BOX	VAL BOX	
⊙ FIBER OPTIC MARKER	FIBER OPTIC MARKER	
⊙ DUTY MARK	DUTY MARK	

PLAT OF SURVEY WITH TOPOGRAPHY

FOR
BLUFF VIEW BANK
1711 SPAKENBURG RD
HOLMEN, WI

DRAWN BY:	ES	DATE:	APRIL 14, 2020
CHECKED BY:	MJB	DRAWING NO.:	P-20
CSE Job No.:	20-033	SHEET	1 OF 1



I CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY, AND THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION AND DIMENSIONS OF ALL VISIBLE STRUCTURES THEREON, BOUNDARY FENCES, APPARENT EASEMENTS AND ROADWAYS AND VISIBLE ENCROACHMENTS, IF ANY. THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO, WITHIN ONE (1) YEAR FROM DATE THEREOF.

APRIL 14, 2020
DATE

MICHAEL J. BERRY, R.L.S.
REGISTERED LAND SURVEYOR S-2545

PROGRESS SET
NOT FOR CONSTRUCTION
4/24/2020

BLUFF VIEW BANK

SPAKENBEG ROAD
HOLMEN, WISCONSIN 54636

Existing Survey

C1.40

PROGRESS SET
NOT FOR CONSTRUCTION
4/24/2020

BLUFF VIEW BANK

SPAKENBEG ROAD
HOLMEN, WISCONSIN 54636

5/12/20	SPAR SUBMITTAL
4/24/20	DESIGN DEVELOPMENT

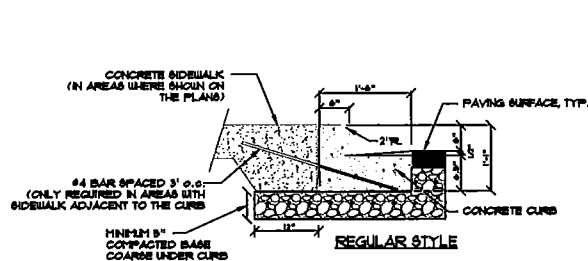
MARK	DATE	DESCRIPTION
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REVISION BLOCK

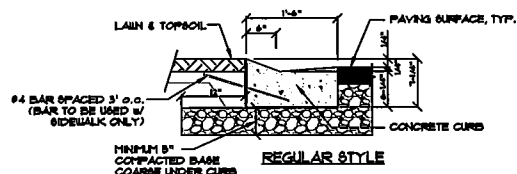
PROJECT NO:
DATE: 4/24/2020
DRAWN BY: BMS
CHKD BY: TBO
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Construction
Details

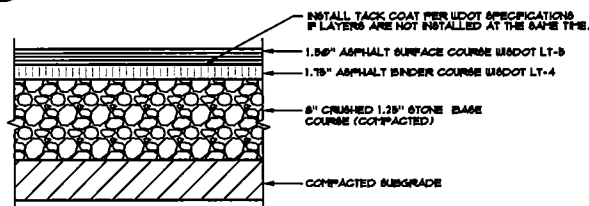
C5.00



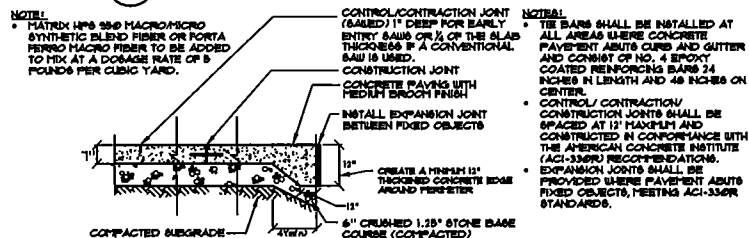
01 VERTICAL FACE CURB - 16" WIDE
NTS



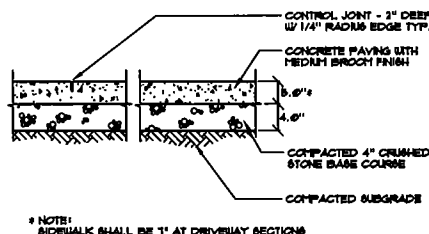
02 16" DEPRESSED CURB
NTS



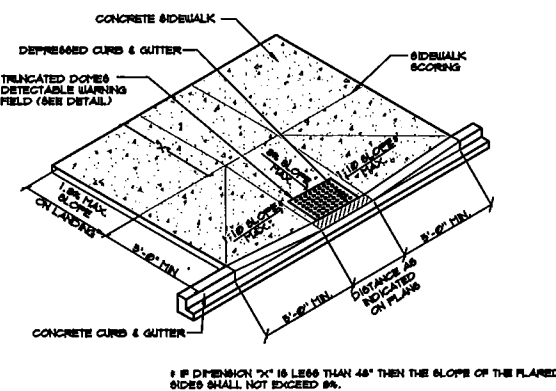
03 REGULAR DUTY ASPHALT PAVEMENT
NTS



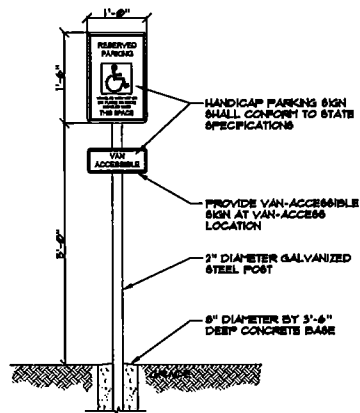
04 CONCRETE PAVEMENT
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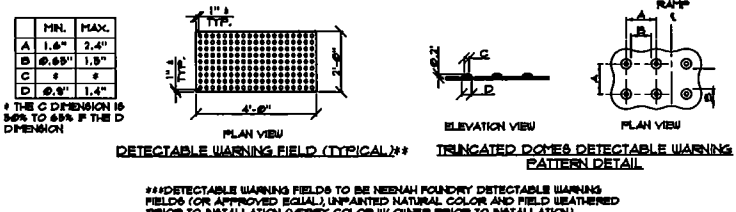
05 CONCRETE SIDEWALK
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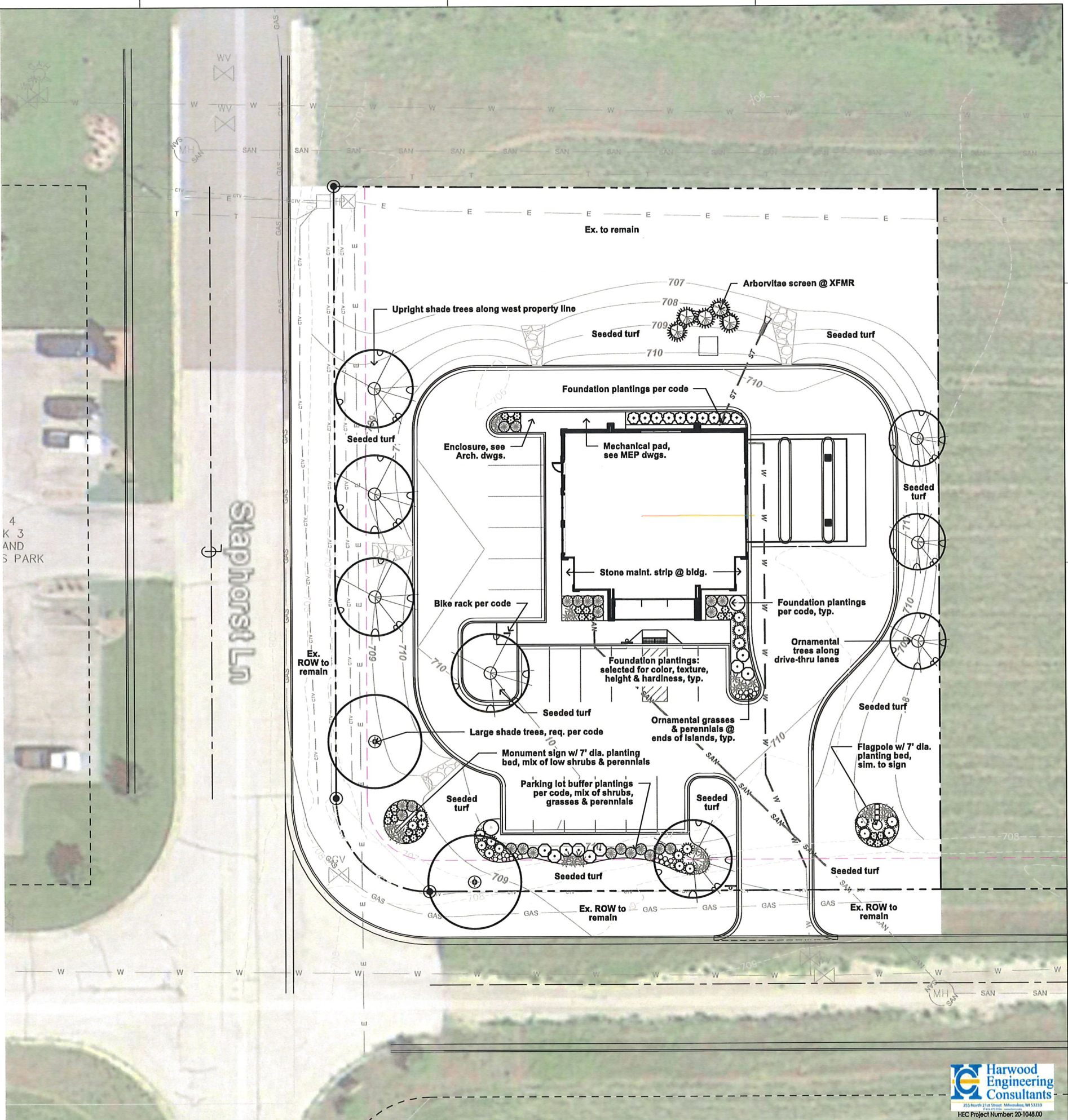
06 HANDICAP RAMP - TYPE 1
NTS



07 HANDICAP SIGN
NTS



08 TRUNCATED DOMES
NTS



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4/24/2020

BLUFF VIEW BANK

SPAKENBEG ROAD
HOLMEN, WISCONSIN 54636



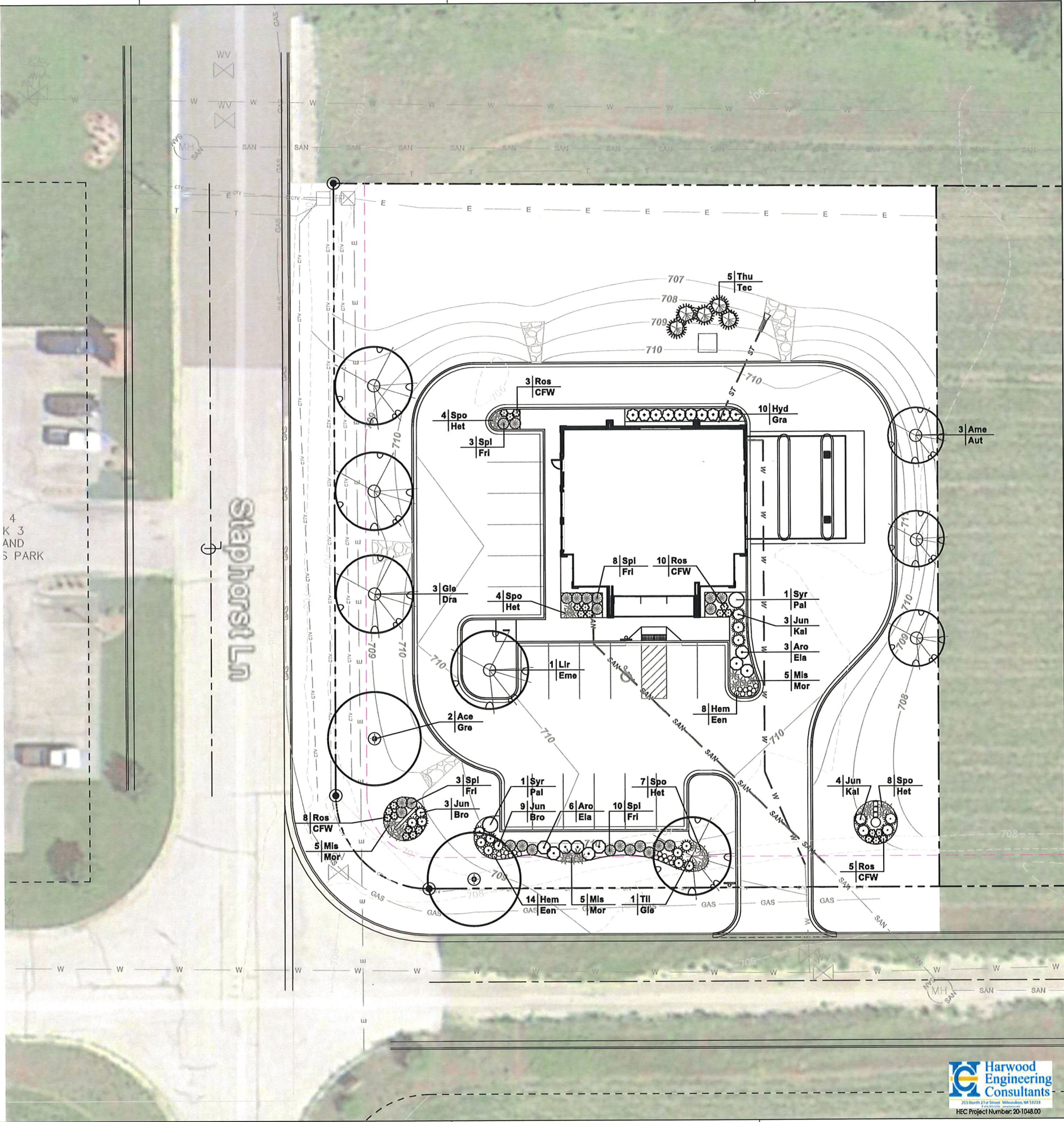
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DATE: 5/12/2020
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LANDSCAPE
PLAN

L1.00





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PLANTING
PLAN

L2.00



General Notes

- 1.01 All landscape installation & maintenance to conform with all applicable local codes & ordinances, including (but not limited to) select portions of Village of Holmen's Design Standards & Ch. 195 Landscape Standards.
- 1.02 See Landscape dwgs. for landscape plans, coverage/restoration requirements, details, schedules & notes. See Site dwgs. for work limits, scope of construction, hardscape layouts, dimensions & locations for site elements (trash encl. & ground-mounted mechanicals.) See Civil dwgs. for grading, erosion control, pavement profiles / specifications, sidewalk & curb ramp details & site utilities. See Architectural dwgs. for all other building construction & signage. GC shall coordinate preparation and/or submittal of any design-build content for review & approval, if applicable.
- 1.03 Contractors shall provide shop drawings and material submittals of all hardscape, landscape and site construction elements shown in plan set for review prior to construction.
- 1.04 Contractor shall provide samples for approval on all colors, finishes & materials (including but not limited to imported topsoil, gravels, mulches, seed mixes et al) prior to installation.
- 1.05 Caution: underground utilities may be present on site. The Contractor shall verify location of all above- and below-grade utilities, both public & private, prior to commencement of site construction. If unanticipated above- or below-grade conditions are encountered, notify Owner & Landscape Architect prior to proceeding. Coordinate with local public utility locating entity as needed.
- 1.06 Contractor shall verify layout prior to construction. Contact Landscape Architect if discrepancies are found.
- 1.07 Contractor shall limit construction traffic to within work limit lines. All adjacent damage shall be the responsibility of the contractor to restore to pre-construction condition. See Site drawings for limits of disturbance.
- 1.08 All written dimensions supersede scaled dimensions. All dimensions are taken from face of curb, wall or existing building foundations.
- 1.09 All existing trees to remain shall be protected. Prior to clearing/grubbing, install snow fencing @ 15' radius from trunks or at driplines, whichever is farther. Fencing is to remain for duration of project. No grading or earthwork to occur in fenced zones except as indicated. No storage, traffic or parking to occur in zones for the duration of the project.

Landscape Notes

- 2.01 Rough grading, utilities (if any), topsoil supply & placement to be coordinated by GC. Landscape contractor shall coordinate with GC and/or earthwork contractor to complete the fine grading. Seed area preparation shall be the landscape contractor's responsibility. Verify all existing site and grading conditions prior to construction.
- 2.02 All areas disturbed by grading or site construction shall be fine graded and restored with vegetative cover as shown in the plans. Areas outside of the work limit lines are to be left as-is unless disturbed by contractor's staging or stockpiling. All disturbance outside of work limits to be restored to its previous condition, typ. See plans for cover types & locations. Coordinate restoration of staging / stockpile areas with LA prior to construction.
- 2.03 Contractor shall verify plant quantities shown on plan. Provide a list to the Landscape Architect prior to construction identifying the species, sizes & plant sources to be used throughout the project.
- 2.04 The Landscape Architect reserves the right to reject any substandard planting material. Such rejected material shall be removed from the project site immediately and replaced with material meeting the specifications set forth in the plans & schedules.
- 2.05 All nursery tags/labels shall be left on plant materials until the project punch-list inspection is completed by the Landscape Architect. Untagged materials will be assumed to be deficient.
- 2.06 All ornamental planting beds shall contain blended topsoil mix to a min. depth of 18". All seeded areas shall have a min. depth of 6". Suitable existing soil may be used & mixed if previously approved. This may require excavating and replacing existing soils and/or sub-base as needed. The contractor shall be responsible for obtaining soil tests prior to placement or planting. Soil testing results shall include (but is not limited to) soil pH, % organic matter, phosphorus, potassium, calcium & texture (percentages of sand, silt and/or clay.) Contaminated soil shall be removed from the project site if discovered. Remove excessive clay, gravel & stones detrimental to healthy plant growth. Remove all debris greater than 1" diameter. Mix new topsoil mix into existing soil if needed.
- 2.07 Contractor shall be responsible for ensuring that all tree pits & planting areas drain properly. Notify Landscape Architect if drainage or moisture problems are encountered while planting.
- 2.08 Contractor shall backfill all trees, shrubs & evergreens with a mix of 1/3 plant starter mix & 2/3 remaining soil. Plant starter mix shall be 35% organic topsoil, 25% black peat, 25% aged composted Manure & 15% washed sand by volume. All perennial and groundcover areas shall receive a 3" layer of plant starter mix and perennial starter fertilizer, rototilled into the top 6" of blended topsoil in beds.
- 2.09 All perennial areas shall receive a 1-2" layer of shredded hardwood bark mulch. Do not allow mulch to touch stems or leaves of perennials! All woody planting areas shall receive a 3" layer. Unless otherwise shown in the plans, no landscape fabric or weed barrier is to be installed.
- 2.10 Groundcover beds DO NOT receive a cover of shredded bark mulch.
- 2.11 Unless otherwise shown, all perennials & shrubs to be planted in triangular arrangements. For plants not shown individually, refer to the spacing shown in the plant schedule.
- 2.12 Bed edging shall be 3/16x4" aluminum edging, clear anodized, typ.
- 2.13 Contractor shall provide positive drainage away from all structures for a minimum of 10'.
- 2.14 Contractor shall be responsible for providing comprehensive plant installation, establishment, maintenance & warranty care for a duration of 1 year after planting. Work shall include typical commercial landscape maintenance services including (but not limited to) watering during establishment, weeding, spring & fall clean-ups, pruning twice a year, perennial dead-heading, fertilizing as required, pest control & replacement of any dead materials within the same season. Contractor shall furnish a 12-month calendar with all maintenance & warranty activities for Owner / LA review prior to installation.

Seeding Notes & Mixes

- 3.01 This work shall consist of preparing the seed beds and furnishing, sowing and mulching the required seeded areas, as outlined in the site plans and notes.
- 3.02 Rough grading, drainage work & topsoil spreading shall be completed by others before sowing the seed mixes. The areas to be seeded shall be fine graded, worked with plow chisels, discs & harrows, soil finishers and/or other appropriate equipment until a reasonably even and loose seedbed is obtained. Seed beds shall be prepared immediately in advance of the seeding.
- 3.03 Typical seeding dates are 4/15 through 6/30 and 8/15 through 10/15. Confirm that anticipated seeding date(s) fall within the approved calendar prior to installation. Installations completed outside of acceptable seeding dates shall be the performed at the sole responsibility and expense of the contractor. For dormant seeding, a min. of one over-seeding the following season will be required.
- 3.04 Seeds shall be PLS and will be mixed in accordance w/ mfr's specifications. Provide invoices, bag-tags or mix analysis results for approval prior to installation.
- 3.05 The seed mixtures shall be sown by means of equipment adapted to the purpose. Mechanical distribution of seed (i.e. Truax seed drill, Brillion seeder, cultipacker, silt-seeder, drop spreader or broadcast spreader) are the only accepted methods. No hand-broadcasting of seed.
- 3.06 No seeding shall occur if the wind exceeds 12 MPH.
- 3.07 Coordinate erosion control and/or mulching with Civil dwgs. Coordinate with E.C. contractor to ensure topsoil, seeding and/or mats are properly installed.
- 3.08 Seed mix substitutions will be considered only approved 10 days before the close of bidding.
- 3.09 Seeded Kentucky Bluegrass: "Deluxe 50 Seed Mix" shall be supplied by Reinders Inc., Rochester MN, (507)-292-0677. Install & maintain per supplier's specifications. Apply @ 6 lbs. per 1000 SF.
- 3.10 Contractor shall be responsible for providing comprehensive seed area installation, establishment, maintenance & warranty care for a duration of 1 season after planting. Work shall include typical commercial landscape turf maintenance services including (but not limited to) watering during establishment, three applications of fertilizer / weed control per season, re-seeding bare patches larger than 1SF within 30 days of seeding and mowing approx once per week for 24 weeks. Contractor shall furnish a seasonal calendar with all maintenance & warranty activities for Owner / LA review prior to installation.

Planting Calculations

All requirements based on B-2 zoning.

NOTE: All adjacent properties are also zoned B-2, i.e. no bufferyards are required

A. Building Foundation

Code: 40 points per 100 LF of foundation
Required: 230 LF = 92 points

B. Paved Areas

Code: 80 points per 20 parking spaces
Required: 18 spaces = 72 points

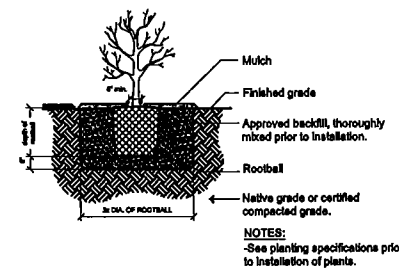
C. Street Frontages

Code: 60 points per 100 LF of street frontages
Required: 404 LF = 243 points

D. Yard Areas

Code: 15 points per 1,000 GSF
Required: 3,000 GSF = 45 points

Total required points: 450

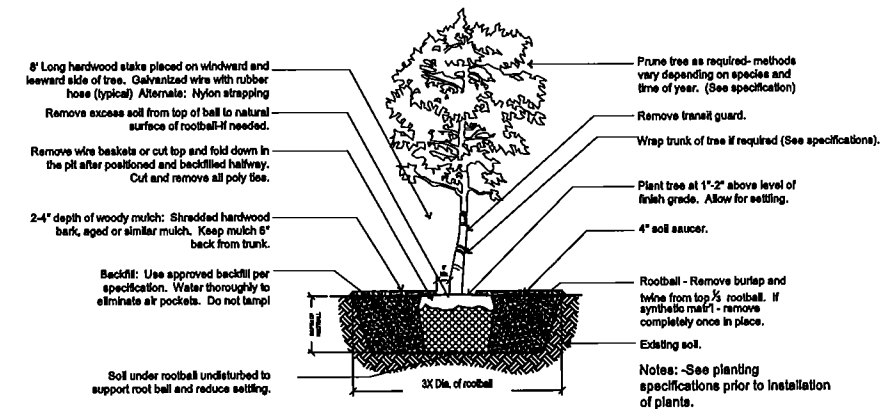


Shrub Planting Detail

Not To Scale

Plant Schedule

Symbol	Qty Prop.	Botanical Name	Common Name	Installed Size	Mature Size	Root	Spacing	Points per Plant	Subtotal Points	Notes
Shade Trees										
Ac Gre	2	Acer saccharum 'Green Mountain'	Green Mountain Sugar Maple	3" Cal.	60x40'	B/B	As Shown	75	150	
Gla Dre	3	Gleditsia lat. 'Drum'	Street Keeper Honeylocust	3" Cal.	60x20'	B/B	As Shown	30	90	
Lir Em	1	Liriodendron tulipifera 'UPB-02'	Emerald City Tulip Tree	3" Cal.	55x25'	B/B	As Shown	30	30	
Ti Gle	1	Tilia x. flexens 'Glenleven'	Glenleven Linden	3" Cal.	45x25'	B/B	As Shown	30	30	
Ornamental Trees										
Amc Aut	3	Amelanchier 'Autumn Brilliance'	Autumn Brilliance Serviceberry	2.5" DBH	25x25'	B/B	As Shown	10	30	
Total Coverage, Deciduous Trees									330	
Evergreen Trees										
Thu Occ	5	Thuja occidentalis 'Technik'	Technik Dwarf Arborvitae	5" HTT	20x10'	B/B	As Shown	12	60	
Total Coverage, Evergreen Trees									60	
Deciduous Shrubs										
Arp Bla	9	Aronia mel. var. alata	Glossy Black Chokeberry	24" HL	4x4'	2 Gal.	48" o.c.	1	9	
Hyd Gra	10	Hydrangea arb. 'Grandiflora'	Snowhill Hydrangea	24" HL	4x4'	2 Gal.	48" o.c.	1	10	
Roe CFW	25	Rosa 'Caretree Wonder'	Caretree Wonder Shrub Rose	24" HL	4x4'	2 Gal.	36" o.c.	1	25	
Spi Fri	23	Spiraea fritchiana	Fritch Spirea	24" HL	3x2'	7 Gal.	42" o.c.	1	23	
Syr Pal	2	Syringa meyeri 'Palibin'	Palibin Lilac	24-30" HL	6x6'	7 Gal.	60" o.c.	3	6	
Total Coverage, Deciduous Shrubs									73	
Evergreen Shrubs										
Jun Kai	7	Juniperus pfitz. 'Kallay Compact'	Kallay Compact Juniper	24" Sprd.	4x6'	7 Gal.	64" o.c.	5	35	
Jun Bro	12	Juniperus sabin 'Broadmoor'	Broadmoor Spreading Juniper	24" Sprd.	1x5'	7 Gal.	48" o.c.	3	36	
Total Coverage, Evergreen Shrubs									71	
Perennials & Grasses										
Ger Roz		Geranium 'Rozanne'	Rozanne Geranium	1 Gal.	2x2'	Cont.	18" o.c.	-	-	
Hem Ean		Hemerocallis 'Earle Wenneke'	Earle Wenneke Daylily	1 Gal.	2x2'	Cont.	18" o.c.	-	-	
Mis Mor		Miscanthus 'Morning Light'	Morning Light Maidenhair Grass	1 Gal.	5x2'	Cont.	30" o.c.	-	-	
Spo Hel		Sporobolus heterolepis	Prairie Droseed	1 Gal.	3x2'	Cont.	18" o.c.	-	-	Qty. per key, not symbols
Total Coverage, Perennials									-	
Grand Total, Points Provided									534	
Points Required									450	
Net Difference									184	



Tree Planting Detail

Not To Scale

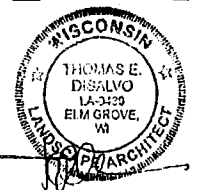


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4/24/2020

BLUFF VIEW BANK

SPAKENBEG ROAD
HOLMEN, WISCONSIN 54636



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	4/24/20	DESIGN DEVELOPMENT
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LANDSCAPE
DTLS, SCHED'S
& NOTES

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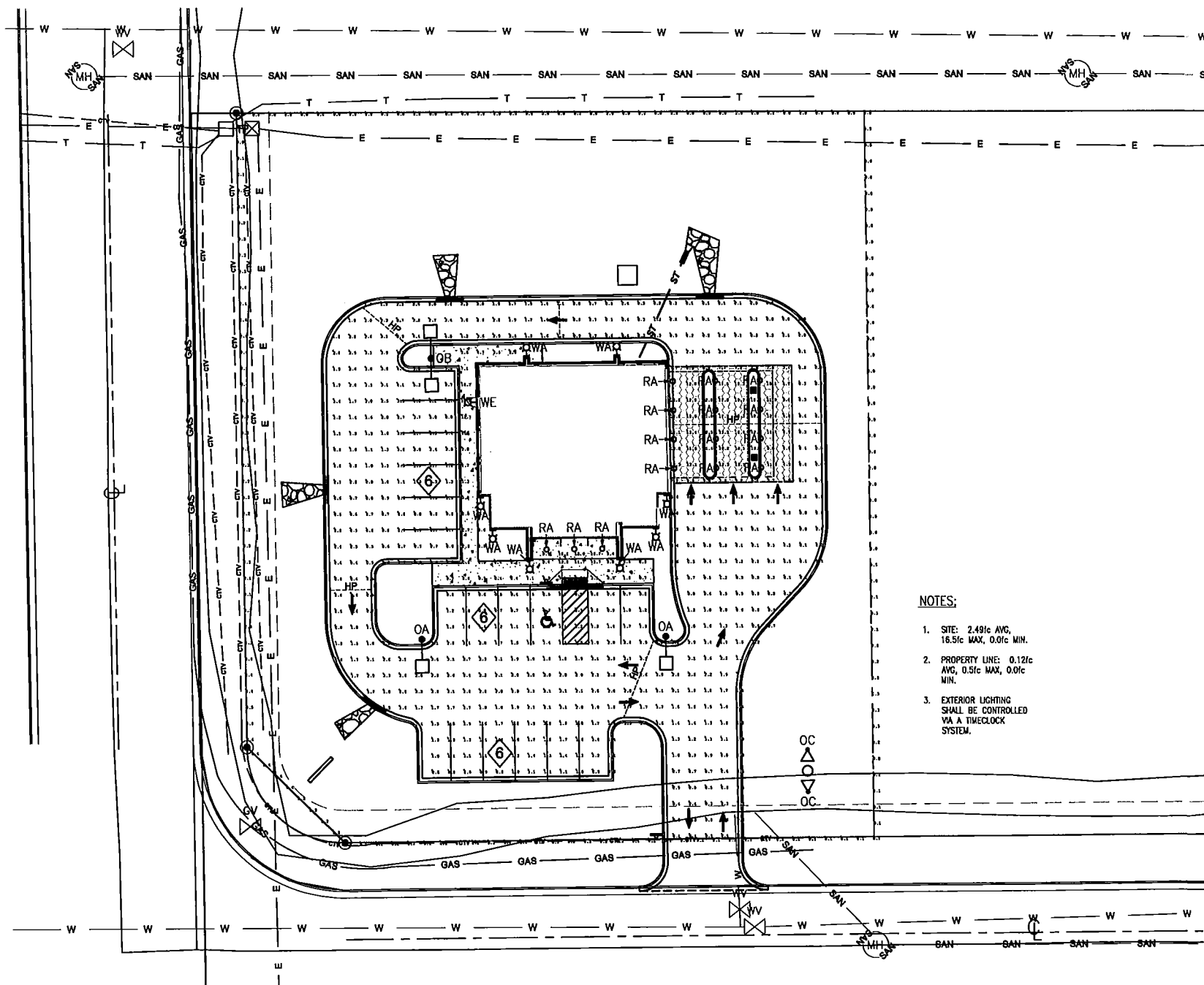
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HOLMEN, WISCONSIN 54636

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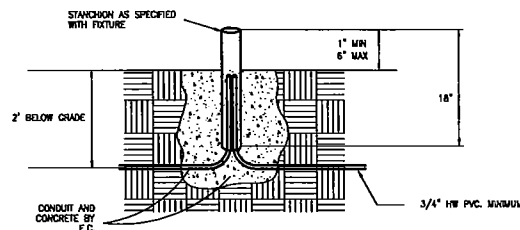
ELECTRICAL SITE PLAN

ES1.00



1 ELECTRICAL SITE PLAN

SCALE: 1" = 20'-0"



8 GROUND MOUNTED LIGHTING FIXTURE DETAIL

ES1.00 NTS

NOTES

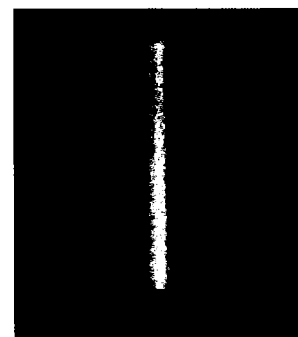
- CONDUIT TO JUNCTION BOX SHALL BE SET INTO CONCRETE BASE.
- ALL ELECTRICAL CONNECTIONS SHALL BE PROVIDED TO THE JUNCTION BOX. ALL JUNCTION BOX CABLE ENTRANCES SHALL BE WATER-TIGHT.
- ALL MOUNTING HARDWARE SHALL BE CORROSION RESISTANT.
- ALL FIXTURES IN THE SAME AREA SHALL BE AT THE SAME ELEVATION.



3 TYPE OC

FC LIGHTING FC1105 SERIES

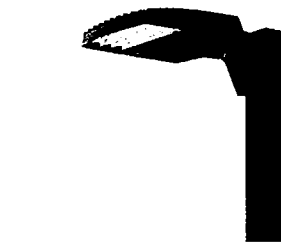
TYPE OC: 5'DIAx5'L SPOTLIGHT,
GROUND MTD. w/ 3" AFG
CONC. BASE, 2000L @ 20W,
100DEG OPTIC, 4000K



5 TYPES WA/WB

LUMINIS SY300/SY302 SERIES

TYPE WA: 3'DIAx8.5'H WALL MTD.
CYLINDER DOWNLIGHT,
92SL DELIVERED @ 13W, 4000K
9DEG OPTIC



2 TYPES OA/OB

LITHONIA RSX1 SERIES

TYPE OA: SINGLE LUMINAIRE ON
20' H POLE/2H AFG CONC. BASE,
9800L DELIVERED @ 72W, 4000K,
FUL CUTOFF TYPE III DIST.

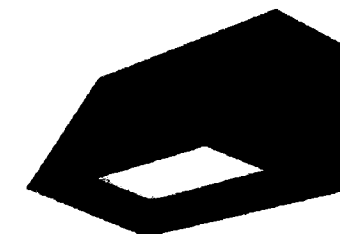
TYPE OB: DOUBLE LUMINAIRE ON
20' H POLE/2H AFG CONC. BASE,
19600L DELIVERED @ 144W, 4000K,
FUL CUTOFF TYPE III & IV DIST.



4 TYPE RA

GOITAM EVO SERIES

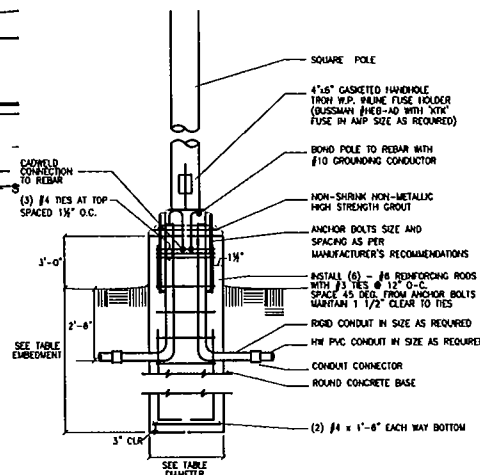
TYPE RA: 6' H x 18' W x 18' D WET LOCATION
RECESSED DOWNLIGHT,
2000L @ 20W, 4000K
MED DIST. @ ENTRY CANOPY
WIDE DIST. @ DRIVE THRU



6 TYPE WE

LITHONIA WST SERIES

TYPE WE: 17' Wx8.5'Hx10'D EXT.
WALL MOUNT, TYPE IV DIST.,
(2)MODULES/(2) DRIVERS,
3000L @ 30W, 4000K



7 POLE BASE DETAIL

ES1.00 NTS

- DIMENSIONS GIVEN ARE MINIMUM. PROVIDE POLE BASE DIAMETER AND DEPTH AS REQUIRED IN ACCORDANCE WITH LOCAL SOIL AND WIND VELOCITY CONDITIONS.
- ALL LIGHTING POLE CONCRETE BASES SHALL BE LOCATED A MINIMUM OF 12 INCHES OFF THE FACE OF THE CURBING EDGE OF SIDEWALK OR CENTERED WITHIN AN ISLAND. IN ALL CASES, HOWEVER, FINAL LOCATION OF LIGHTING POLES MUST BE VERIFIED WITH THE ARCHITECT/ENGINEER PRIOR TO INSTALLATION.
- ALL DIMENSIONS POLE BASE ARE FOR BEING ONLY. POLE BASE SHALL MATCH THOSE AT EXISTING POLES, IF APPLICABLE.

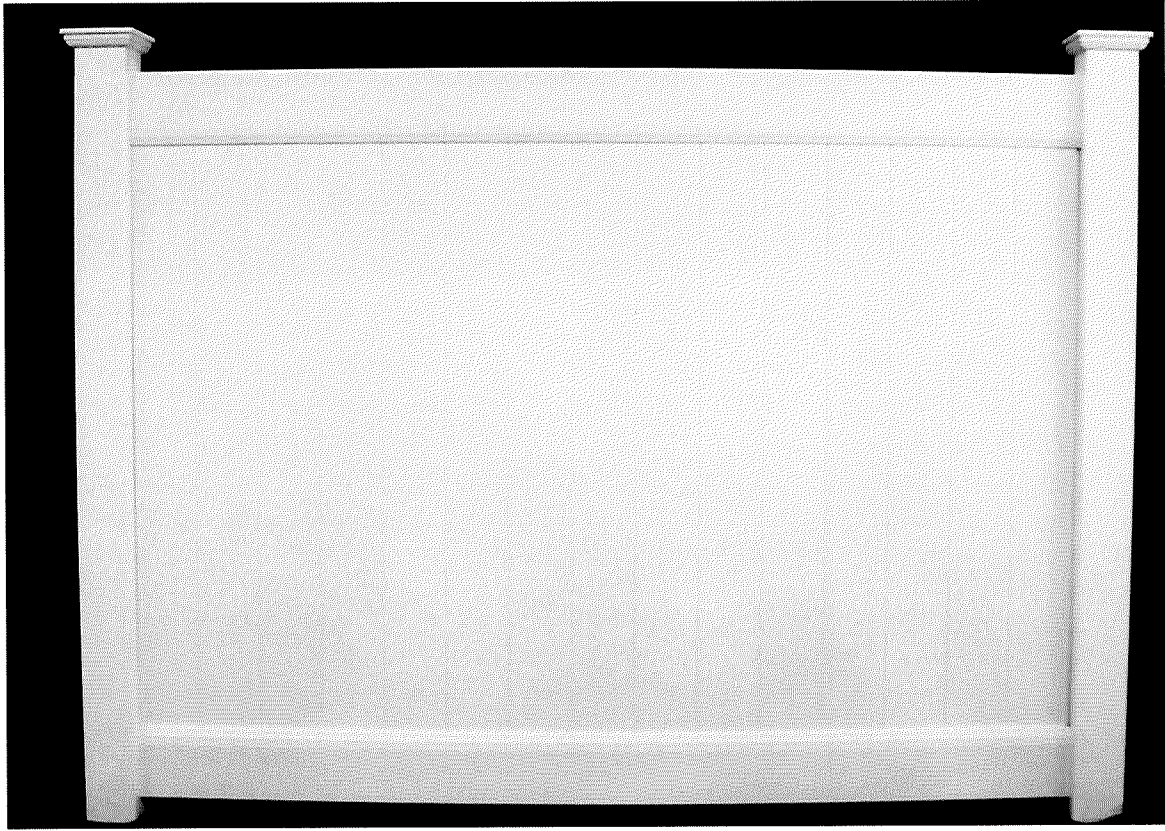
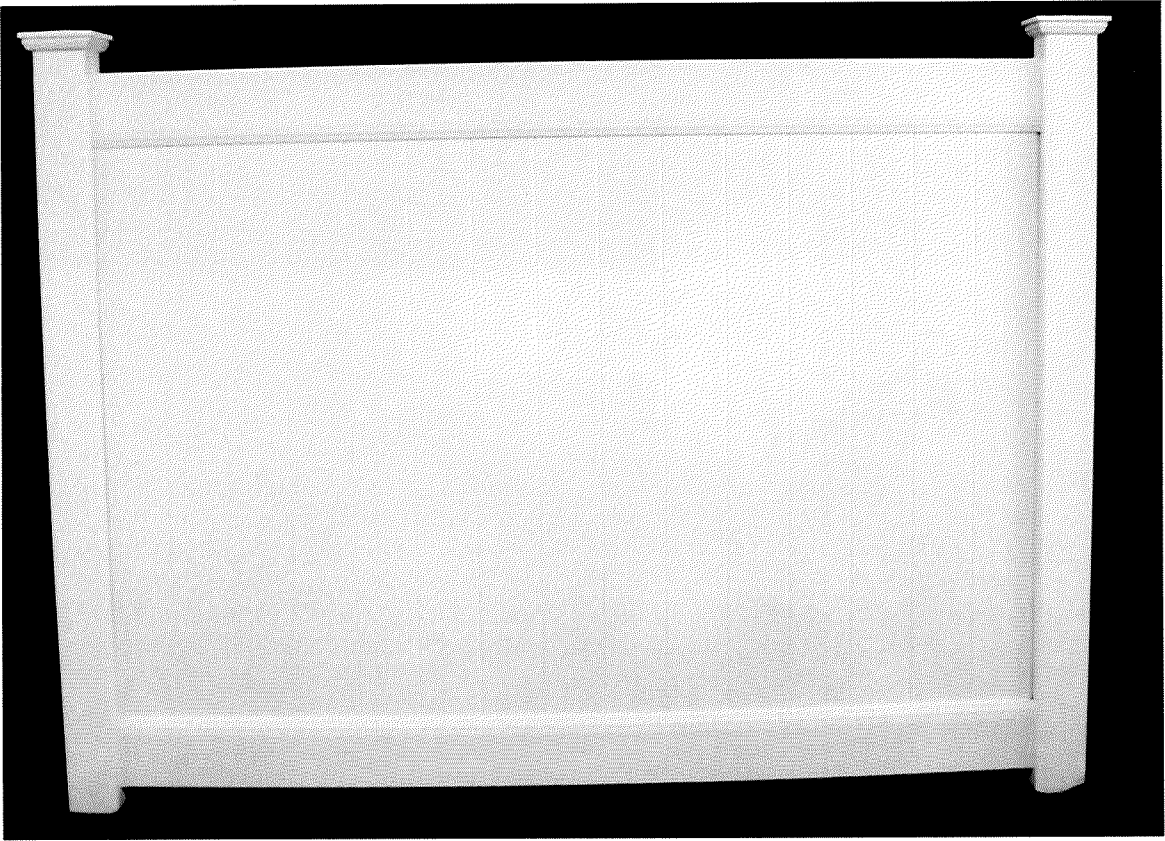
POLE HEIGHT	1 HEAD	2 HEAD	4 HEAD	8 HEAD
15'-0"	6'-5 1/2"-0"	6'-5 1/2"-0"	6'-5 1/2"-0"	6'-5 1/2"-0"
20'-0"	6'-5 1/2"-0"	6'-5 1/2"-0"	6'-5 1/2"-0"	6'-5 1/2"-0"
25'-0"	6'-5 1/2"-0"	6'-5 1/2"-0"	6'-5 1/2"-0"	6'-5 1/2"-0"
30'-0"	6'-5 1/2"-0"	6'-5 1/2"-0"	6'-5 1/2"-0"	6'-5 1/2"-0"

NOTES:
1. TABLE IS BASED ON SOIL BEARING PRESSURE OF 3000 PSF AND A LATERAL BEARING PRESSURE OF 200 PSF/FT.

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Solid Privacy / Solid Privacy Vinyl Fence Panel



Solid Privacy Vinyl Fence Panel

from \$77.00

Instantly add privacy to your yard with the Direct Fence New York Style Solid Privacy vinyl fence sections. Each Solid Privacy vinyl fence section comes with our commercial grade decorative top and bottom rails which are internally reinforced. All solid privacy vinyl fence rails are notched so they lock directly into the post giving you the strength you need! They say that a good fences make good neighbors this solid privacy

6ROLG 3ULYDF\IHQFH 3DQDOO}HOFH FRP



vinyl fence will give you the privacy and security your property needs!

Colors Available

- White
- Beige/Tan
- Clay/Adobe/Khaki
- Gray

Solid Privacy Vinyl Fence Details

- 2" Wide x 7" Height
Decorative heavy duty top and bottom rails
- 7/8" Thick x 6" Wide
Tongue and groove pickets
- Side channels on the end of both sides to hide any cuts
- Gate kits include a heavy duty vinyl fence latch and vinyl fence hinge set
- Each section is 8' wide however you can cut down the section and the side channel will hide your cuts on the tongue & groove boards.

KWWSV,EXZZQ\OIHQFH FRP VROLG SULYDF\ IHQFH GVZ]SDHYFFFGUN GOGR`K F`^VN`H

CARTS

Toter carts are manufactured with a stress-free Advanced Rotational Molding process that provides superior product durability for long life. Toter carts are extremely flexible and impact-resistant, and easily handle the day-to-day abuse of waste collection.



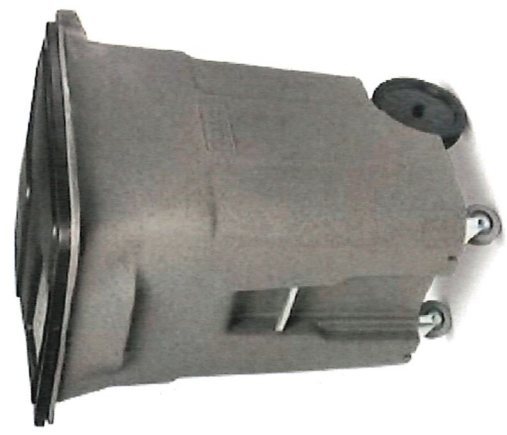
Two-Wheel Carts

Toter carts are perfect for the collection, transport and disposal of waste and recycling for industrial, commercial, and institutional environments. The Advanced Rotational Molding manufacturing process provides superior product durability and years and years of service life. They stand up to just about anything that's tossed in them – or at them.

Part	Size	Dimensions (L x W x H)	Wheel Size	Load Rating
ANA32	32 Gallons	24.25" x 19.75" x 37.50"	8"	112 lbs. / 50.8 kg
ANA48	48 Gallons	28.75" x 23.50" x 37.50"	10"	168 lbs. / 76.3 kg
ANA64	64 Gallons	31.75" x 24.25" x 41.75"	10"	224 lbs. / 101.6 kg
ANA96	96 Gallons	35.75" x 29.75" x 43.25"	10"	335 lbs. / 152.0 kg

Caster Carts

Toter caster carts are ideal for maneuvering the heaviest of loads. Added caster wheels eliminate the need to tilt the cart to roll, helping stabilize heavy loads.



Organic Carts

Toter two-wheel and caster carts are specifically designed to withstand the added burden of collecting heavy, wet organic waste. Carts are designed to contain wet waste with a molded, sealed stop-bar that prevents leakage.



Part	Size	Dimensions (L x W x H)	Wheel Size	Load Rating
ONA24	24 Gallons	24.25" x 19.75" x 37.50"	8"	150 lbs. / 68.0 kg
ONA32	32 Gallons	28.75" x 23.50" x 37.50"	8"	200 lbs. / 90.0 kg
ONA48	48 Gallons	31.75" x 24.25" x 41.75"	10"	300 lbs. / 136.0 kg
ONA64	64 Gallons	35.75" x 29.75" x 43.25"	10"	400 lbs. / 181.0 kg
ACO64	64 Gallons	31.75" x 24.25" x 44.25"	Wheel 10" / Caster 4"	400 lbs. / 181.0 kg
ACG64	64 Gallons	32.00" x 24.25" x 44.25"	Wheel 10" / Caster 4"	400 lbs. / 181.0 kg

*For options available, please refer to page 7.

SPAR SUBMITTAL
NOT FOR CONSTRUCTION
5/12/2020

BLUFF VIEW BANK

SPAKENBEG ROAD
HOLMEN, WISCONSIN 54636

5/12/20	SPAR SUBMITTAL
MARK	DATE
DESCRIPTION	

PROJECT NO:	
DATE:	5/12/2020
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FLOOR
PLAN

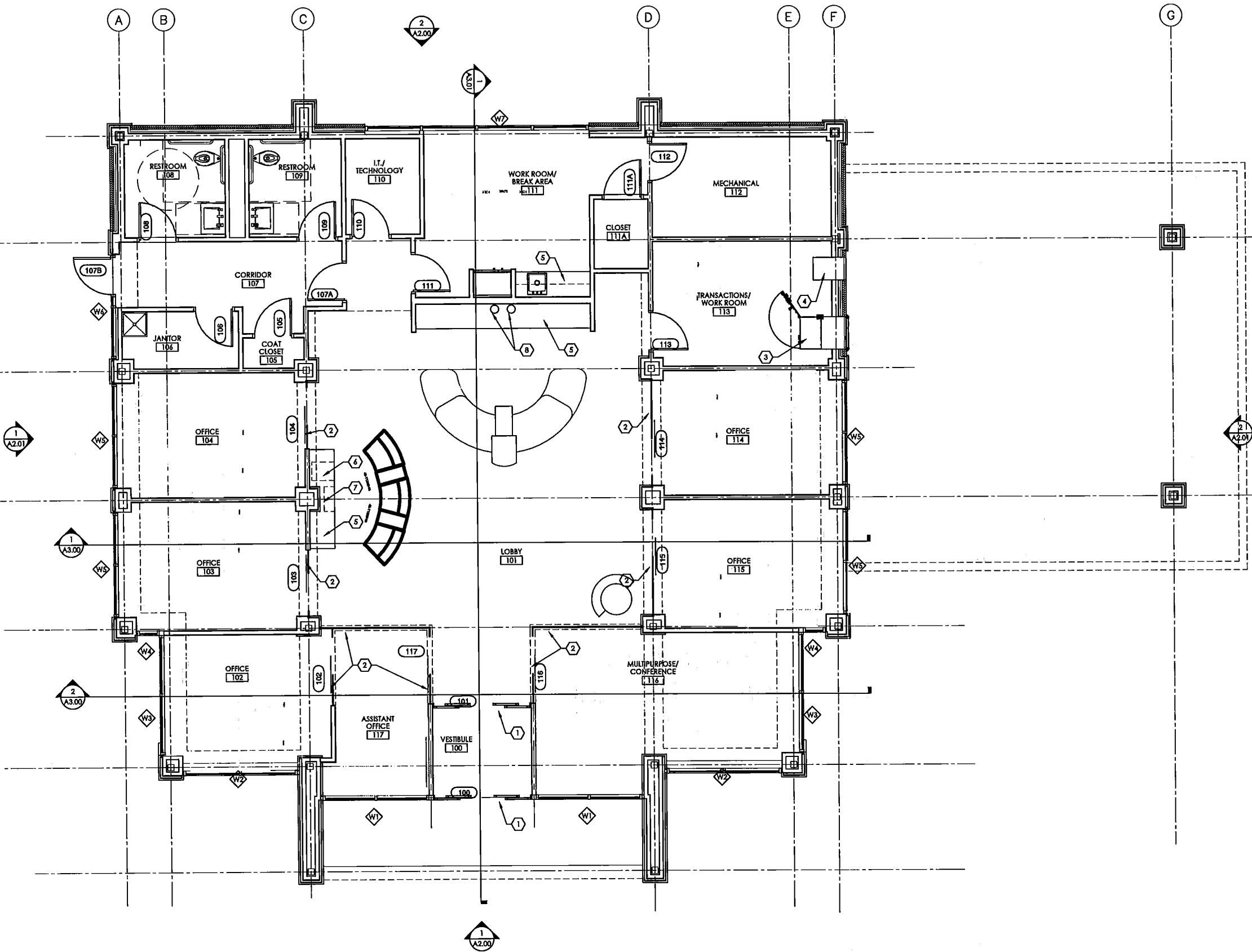
A1.00

GENERAL NOTES:

- VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY FOR RESOLUTION AND CLARIFICATION.
- DIMENSIONS ARE TO FINISHES OF EXISTING WALLS, AND TO FACE OF STUDS ON NEW WALL CONSTRUCTION, UNLESS NOTED OTHERWISE.
- POSITION DOOR OPENINGS ON HINGE SIDE 4" FROM WALL UNLESS NOTED OTHERWISE.

KEYED PLAN NOTES:

- AUTOMATIC SLIDING DOOR (RE: DOOR SCHEDULE)
- ALL-GLASS OFFICE WALL PARTITION SYSTEM WITH TOP-HUNG SLIDING GLASS DOOR (CRL LAGUNA SERIES GLASS WALL OFFICE SYSTEM WITH TOP HUNG SLIDING DOORS, OR EQUAL)
- ATM MACHINE (O.F.C.I.) - COORDINATE FINAL PRODUCT, LOCATION AND INSTALLATION DETAILS WITH OWNER.
- NIGHT DROP BOX (O.F.C.I.) - COORDINATE FINAL PRODUCT, LOCATION AND INSTALLATION DETAILS WITH OWNER.
- PLASTIC LAMINATE CABINETS / QUARTZ COUNTERTOP. SEE MILLWORK ELEVATIONS AND DETAILS.
- UNDER-COUNTER REFRIGERATOR
- ELECTRIC FIREPLACE
- PNEUMATIC TUBE SYSTEM FROM DRIVE THRU LANES. COORDINATE ROUTING WITH OWNER'S SYSTEM VENDOR.



1 FLOOR PLAN
SCALE: 1/4" = 1'-0"
NORTH




Mike Parnon, AIA, Architect
BrandPoint Design, LLC
18350 Coach House Court
Brookfield, Wisconsin 53045
www.brandpointdesign.com
Cell: 262.506.4400

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5/12/2020

BLUFF VIEW BANK

SPAKENBEG ROAD
HOLMEN, WISCONSIN 54636

	5/12/20	SPAR SUBMITTAL
MARK	DATE	DESCRIPTION
REVISION BLOCK		

PROJECT NO:		
DATE:	5/12/2020	
DRAWN BY:	M.MCCORD	
CHK'D BY:	M.PARNON	
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ROOF
PLAN

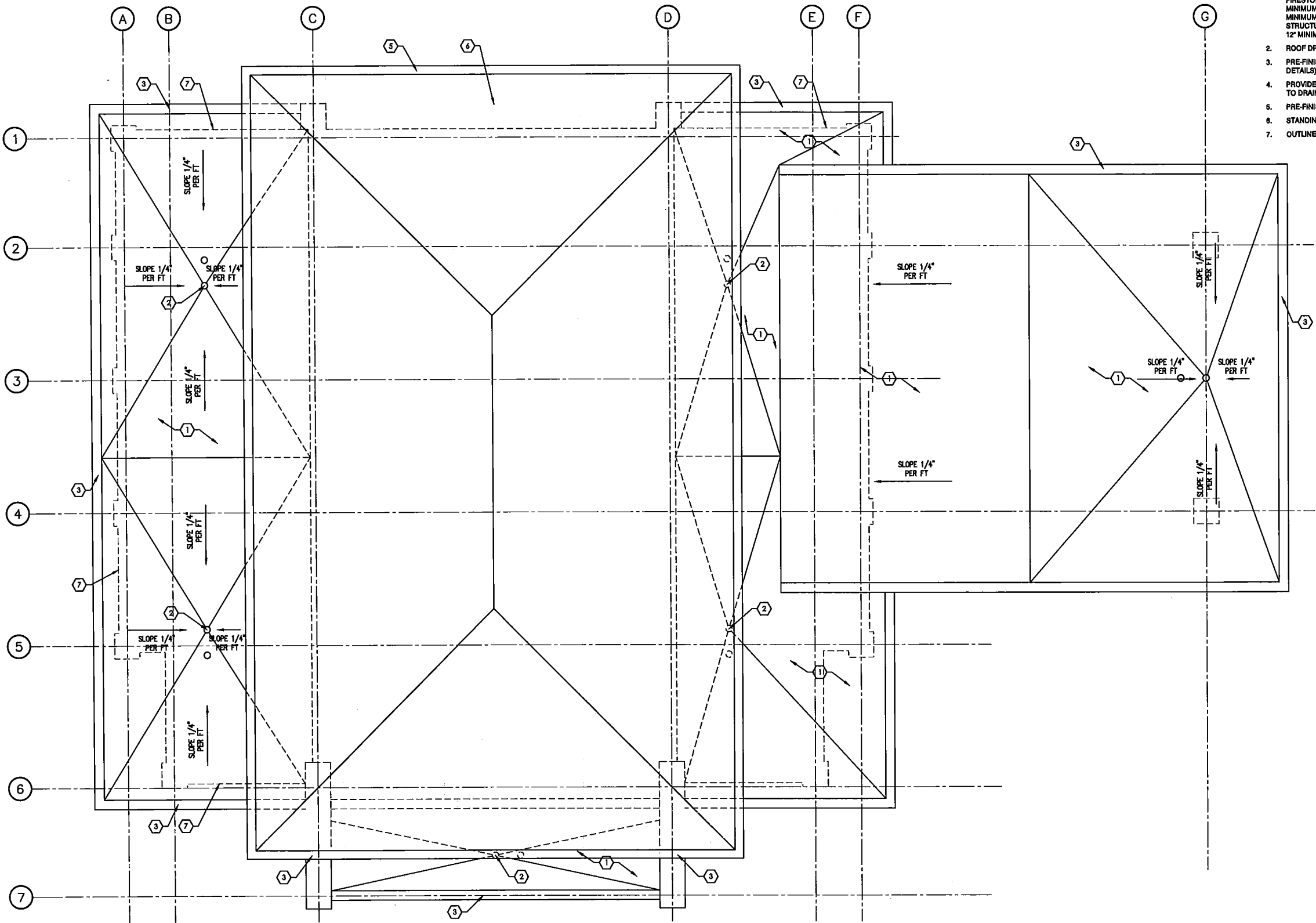
A1.01

GENERAL NOTES:

- A. VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY FOR RESOLUTION AND CLARIFICATION.
- B. CONTRACTOR IS RESPONSIBLE TO INSURE POSITIVE DRAINAGE TO ROOF DRAINS ON ALL AREAS OF ROOF. NO STANDING WATER IS ACCEPTABLE TO THE OWNER.

KEYED PLAN NOTES:

1. 60 MIL SINGLE PLY WHITE EPDM MEMBRANE ROOF (FIRESTONE RUBBERGARD FULLY ADHERED OR EQUAL) OVER COVER BOARD/POLYISOCYANURATE INSULATION (1.6" FIRESTONE ISOGUARD HD COMPOSITE BOARD OVER 4.0" MINIMUM FIRESTONE ISO 95+ GL TAPERED INSULATION - R30 MINIMUM) OVER 10 MIL VAPOR BARRIER OVER METAL DECK. STRUCTURE IS LEVEL (SEE STRUCTURAL DRAWINGS). 1/4" PER 12" MINIMUM SLOPE REQUIRED
2. ROOF DRAIN AND OVERFLOW (SEE PLUMBING DRAWINGS)
3. PRE-FINISHED METAL COPING (SEE WALL SECTIONS AND DETAILS)
4. PROVIDE TAPERED INSULATION AROUND MECHANICAL UNIT TO DRAIN WATER AROUND UNIT
5. PRE-FINISHED METAL GUTTER
6. STANDING SEAM METAL ROOF SYSTEM (6:12 SLOPE)
7. OUTLINE OF BUILDING WALL BELOW



1 ROOF PLAN
SCALE: 1/4" = 1'-0"
NORTH



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BUILDING
ELEVATIONS

A2.00

GLASS CALCULATIONS:

SOUTH ELEVATION:
ELEVATION AREA: 1,310 S.F.
GLASS AREA: 564 S.F.
GLASS PERCENTAGE: 43.1%

WEST ELEVATION:
ELEVATION AREA: 1,457 S.F.
GLASS AREA: 489 S.F.
GLASS PERCENTAGE: 33.6%

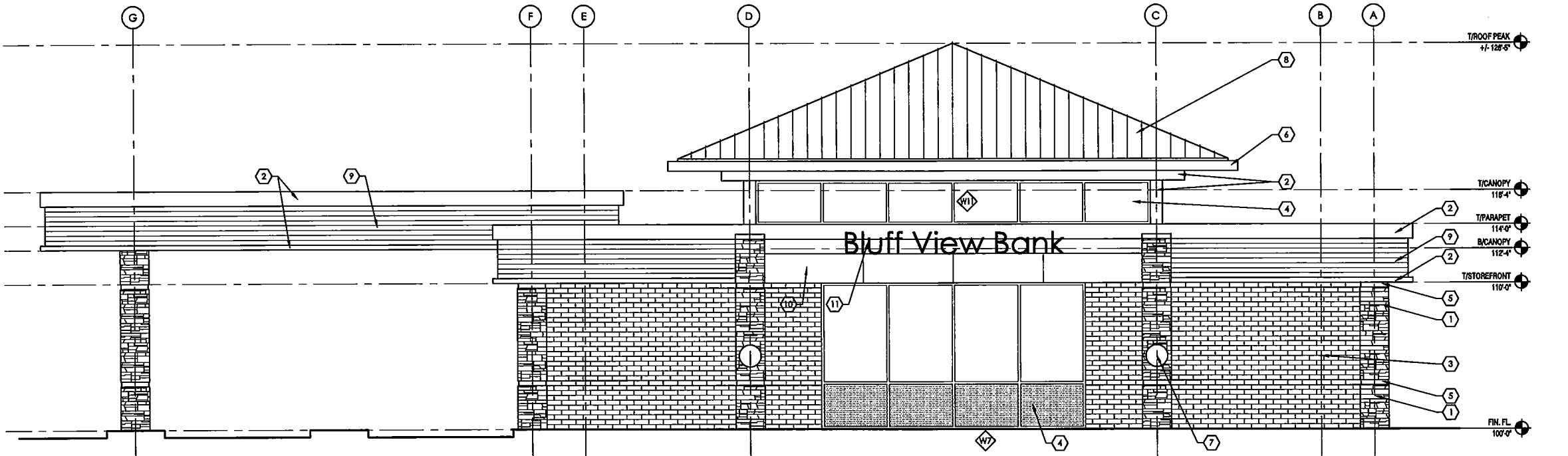
NORTH ELEVATION:
ELEVATION AREA: 1,310 S.F.
GLASS AREA: 284 S.F.
GLASS PERCENTAGE: 20.2%

EAST ELEVATION:
ELEVATION AREA: 1,457 S.F.
GLASS AREA: 404 S.F.
GLASS PERCENTAGE: 27.8%

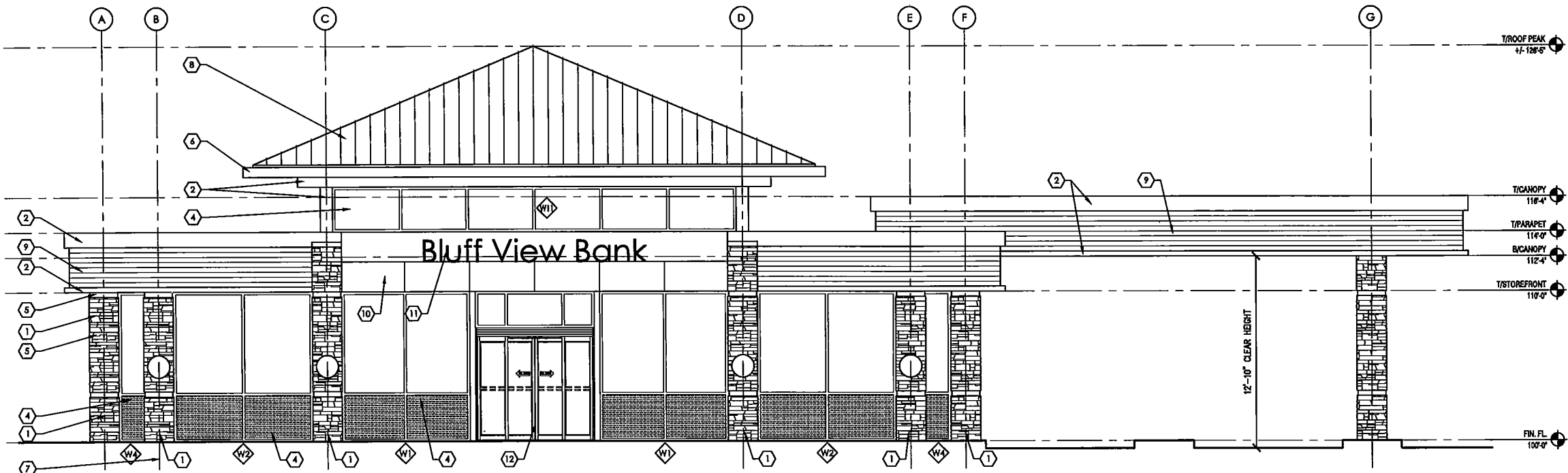
TOTAL: 5,534 S.F. ELEVATION AREA / 31.1% GLASS

KEYED ELEVATION NOTES:

1. MANUFACTURED STONE VENEER
2. PRE-FINISHED BREAK METAL TRIM
3. FACE BRICK
4. ALUMINUM STOREFRONT WITH 1" INSULATING GLAZING
5. PRE-FINISHED METAL TRIM REVEAL
6. PRE-FINISHED METAL GUTTER
7. DECORATIVE SCOSCE LIGHT FIXTURE
8. STANDING SEAM METAL ROOF SYSTEM
9. PRE-FINISHED METAL PANEL SYSTEM (METAL SALES EM15-168 OR EQUAL)
10. PRE-FINISHED COMPOSITE METAL PANEL SYSTEM
11. ILLUMINATED SIGNAGE
12. AUTOMATIC SLIDING DOOR SYSTEM



2 BUILDING ELEVATION
SCALE: 1/4" = 1'-0"



1 BUILDING ELEVATION
SCALE: 1/4" = 1'-0"

SOUTH ELEVATION:
ELEVATION AREA: 1,310 S.F.
GLASS AREA: 584 S.F.
GLASS PERCENTAGE: 43.1%

WEST ELEVATION:
ELEVATION AREA: 1,457 S.F.
GLASS AREA: 489 S.F.
GLASS PERCENTAGE: 33.8%

NORTH ELEVATION:
ELEVATION AREA: 1,310 S.F.
GLASS AREA: 284 S.F.
GLASS PERCENTAGE: 20.2%

EAST ELEVATION:
ELEVATION AREA: 1,457 S.F.
GLASS AREA: 404 S.F.
GLASS PERCENTAGE: 27.8%

TOTAL: 5,634 S.F. ELEVATION AREA / 31.1% GLASS


1. MANUFACTURED STONE VENEER
2. PRE-FINISHED BREAK METAL TRIM
3. FACE BRICK
4. ALUMINUM STOREFRONT WITH 1" INSULATING GLAZING
5. PRE-FINISHED METAL TRIM REVEAL
6. PRE-FINISHED METAL CUTTER
7. DECORATIVE SCIENCE LIGHT FIXTURE
8. STANDING SEAM METAL ROOF SYSTEM
9. PRE-FINISHED METAL PANEL SYSTEM (METAL SALES EM15-108 OR EQUAL)
10. PRE-FINISHED COMPOSITE METAL PANEL SYSTEM
11. ILLUMINATED SIGNAGE
12. AUTOMATIC SLIDING DOOR SYSTEM



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BLUFF VIEW BANK

SPAKENBEG ROAD
HOLMEN, WISCONSIN 54636

	5/12/20	SPAR SUBMITAL
MARK	DATE	DESCRIPTION

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SHEET TITLE	

BUILDING ELEVATIONS

A2.01

Concept - East Elevation



Brick

Yankee Hill Brick darker gray face brick.
COMMERCIAL, FACE BRICK, CAPITAL
IRON SPOT FACE BRICK
Utility Brick with dark gray grout

Stone

Eldorado Stone or equal
Mineret Gray

Metal Panel – Metal Sales

EM15-168 WALL PANEL
Liner, Wall
Panel Coverage: 16"
Rib Features: Box Ribs
Rib Height: 1-1/2"
Standard Gauge: 24 ga.

Standing Seam Metal Roofing – Metal Sales

Rib Height: 1-1/2"
Panel Coverage: 16"
Standard Gauge: 24 ga.

5/11/2020



Bluff View Bank, Brand Prototype Concept
Holmen Branch – Exterior Elevations
11" x 17" Sheet

2020



Brick

Yankee Hill Brick darker gray face brick.
COMMERCIAL, FACE BRICK, CAPITAL
IRON SPOT FACE BRICK
Utility Brick with dark gray grout

Stone

Eldorado Stone or equal
Mineret Gray

Metal Panel – Metal Sales

EM15-168 WALL PANEL
Liner, Wall
Panel Coverage: 16"

Rib Features: Box Ribs
Rib Height: 1-1/2"
Standard Gauge: 24 ga.

Standing Seam Metal Roofing – Metal Sales

Rib Height: 1-1/2"
Panel Coverage: 16"

Standard Gauge: 24 ga.

5/11/2020



Bluff View Bank, Brand Prototype Concept
Holmen Branch – Exterior Elevations
11" x 17" Sheet

2020

5

Concept - South Elevation



Standing Seam
Metal Roof. Bluff View Bank Gray.

Metal Panel
Bluff View Bank Green
Bluff View Bank Gray

Stone

Metal Accent Band
Bluff View Bank Green

Clear Anodized Aluminum Frames
Clear, Low e Glazing

Stone

Logo Sconce Light

Brick

Yankee Hill Brick darker gray face brick.
COMMERCIAL, FACE BRICK, CAPITAL
IRON SPOT FACE BRICK
Utility Brick with dark gray grout

Stone

Eldorado Stone or equal
Mineret Gray

Metal Panel – Metal Sales

EM15-168 WALL PANEL
Liner, Wall
Panel Coverage: 16"

Rib Features: Box Ribs
Rib Height: 1-1/2"
Standard Gauge: 24 ga.

Standing Seam Metal Roofing – Metal Sales

Rib Height: 1-1/2"
Panel Coverage: 16" Standard Gauge: 24 ga.

5/11/2020



Bluff View Bank, Brand Prototype Concept
Holmen Branch – Exterior Elevations
11" x 17" Sheet

2020

Concept - West Elevation



Brick

Yankee Hill Brick darker gray face brick.
COMMERCIAL, FACE BRICK, CAPITAL
IRON SPOT FACE BRICK
Utility Brick with dark gray grout

Stone

Eldorado Stone or equal
Mineret Gray

Metal Panel – Metal Sales

EM15-168 WALL PANEL
Liner, Wall
Panel Coverage: 16"
Rib Features: Box Ribs
Rib Height: 1-1/2"
Standard Gauge: 24 ga.

Standing Seam Metal Roofing – Metal Sales

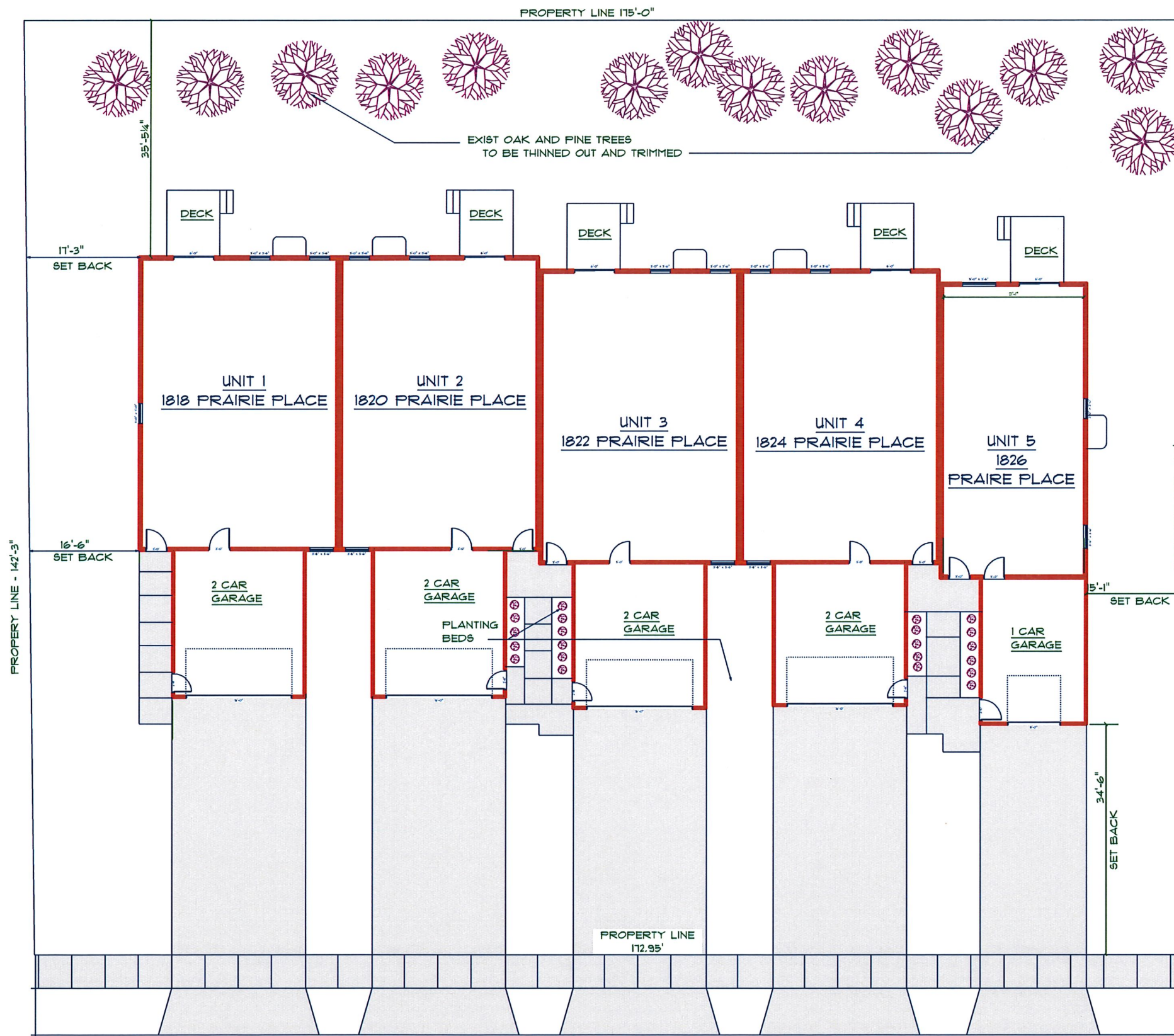
Rib Height: 1-1/2"
Panel Coverage: 16"
Standard Gauge: 24 ga.

5/11/2020



Bluff View Bank, Brand Prototype Concept
Holmen Branch – Exterior Elevations
11" x 17" Sheet

2020



SITE PLAN



PRAIRIE PLACE

5 UNIT TOWNHOUSES
FOR
BOB GLISE
1818 PRAIRIE PLACE
HOLMEN, WI 54636

PLANS BY:
MBA PROJECT MANAGEMENT, LLC
N5560 CO RD 2M, SUITE 3
ONALASKA, WI 54630

MAY 12, 2020



NORTH ELEVATION

MATERIAL FINISH NOTES:

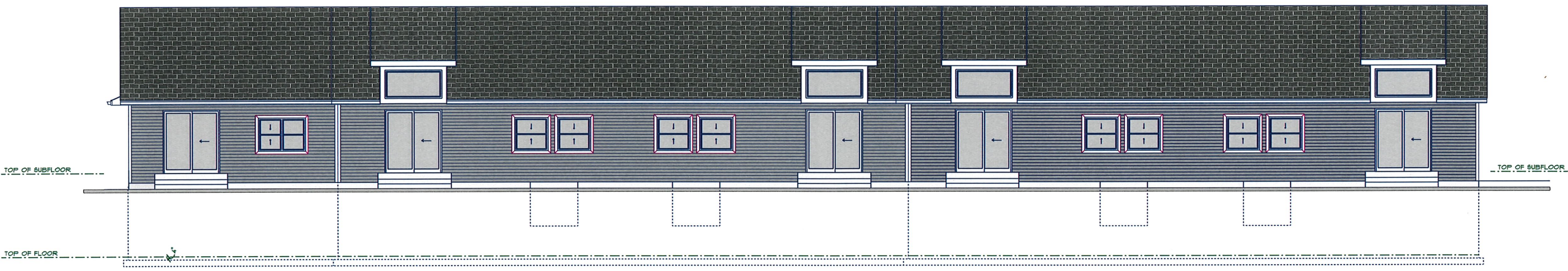
SIDING TO BE LP SMART LAP
SHAKE SHINGLES TO BE LP SMART SHAKES
TRIM TO BE LP SMART TRIM
STONE TO BE CULTURED STONE

5 UNIT TOWNHOUSES
FOR
BOB GLISE
1818 PRAIRIE PLACE
HOLMEN, WI 54636

PLANS BY:
MBA PROJECT MANAGEMENT, LLC
N5560 CO RD 2M, SUITE 3
ONALASKA, WI 54650

MAY 12, 2020

PAGE 1 OF 3



SOUTH ELEVATION

5 UNIT TOWNHOUSES
FOR BOB GLISE
1818 PRAIRIE PLACE
HOLMEN, WI 54636

PLANS BY:
MBA PROJECT MANAGEMENT, LLC
N5560 CO RD ZM, SUITE 3
ONALASKA, WI 54650

MAY 12, 2020

PAGE 3 OF 3

May 26th

Planning Commission (6:30pm)

Name

Address

- | | | | |
|----|---------------|----------------------|--------------------|
| 1 | Bob Glize | 902 Oak Timber Dr., | Onalaska 317 5007 |
| 2 | Chris Walters | 2700 HAWAII DR. #101 | ONALASKA, WI 54650 |
| 3 | Nancy McBurne | 1810 Pinecrest Ave. | Holmen, WI 54450 |
| 4 | Greg Townsend | 502 Alpine Lane | Holmen WI 54636 |
| 5 | | | |
| 6 | | | |
| 7 | | | |
| 8 | | | |
| 9 | | | |
| 10 | | | |
| 11 | | | |
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