

**Village of Holmen
Planning Commission Minutes
May 28, 2019**

Village President Barlow called the Planning Commission meeting to order at 6:30PM on Tuesday, May 28, 2019. Present were commission members Barlow, Kertis, Stanek, Rugroden, Anderson, Appold, and Grokowsky; along with advisory members Administrator Heinig and Engineer Chris Dahl. Also in attendance: Pat McKnight, Tyler McCoy, Dean McHugh, and Justin Birdd.

Public Hearings:

None

Approval of the April 30, 2019 Minutes:

Motion by Anderson, seconded by Grekowsky to approve the minutes of the April 30, 2019 Meeting. Carried 7-0.

Public comment:

None.

Agenda Items:

Possible Action and Recommendation on Annexation Petition from Tyler and Amanda McCoy for 37.01 acres from the Town of Holland Town of Holland

Administrator Heinig explained the boundaries of the annexation. He further explained this area is within and consistent with the Village comprehensive plan and with the Town of Holland boundary agreement and recommended its approval.

Motion by Anderson, seconded by Stanek to recommend to the Village board the annexation petition from Tyler and Amanda McCoy for 37.01 acres from the Town of Holland. Carried 6-0; member Rugroden abstained.

Possible Action on Petition for Site Plan & Architectural Review (SPAR) from Justin Birdd for Phase 3 of Field of Dreams off Cedar Bird Lane

Administrator Heinig explained that this proposal is for three 3 story 42 unit apartment buildings with one auxiliary administrative and workout facility building. This is Phase 3 of the development plan with similar buildings constructed prior phases at the end of North Court. As part of this plan; Locust Street will be extended northward to a cul-de-sac to the entry of this development; and Cedar Bird Lane will be extended to the west boundary of the parcel. When the parcel located to the west is developed Cedar Bird will be extended to North Court and an additional access to State Highway 35 will be constructed. This is anticipated to be a 3-4 year buildout with the public infrastructure, south most apartment building and the auxiliary building being constructed first. He further stated that the plans have adequately addressed landscaping, signing, materials, architectural standards. He

pointed out that the color selection was not the typical natural colors, but could certainly be used in a residential area with the commission's approval.

Motion by Stanek, seconded by Rugroden to approve the Site Plan & Architectural Review (SPAR) from Justin Birdd for Phase 3 of Field of Dreams off Cedar Bird Lane. Finding that the purposes and guidelines of the SPAR Ordinance have been reasonably met, regarding the entire proposed site plan, all external building colors and materials, overall building layout and design, site and building lighting, site and building signage, and site landscaping. Carried 7-0.

Discussion on Proposed Ordinance Creating Provisions to Regulate Murals

Administrator Heinig explained that murals fall outside the current Village ordinances. He presented the commission with a draft version for discussion. He stated that the discussion would provide the guidance needed to draft a final set of provisions which would be brought back to the commission for approval, be brought to public hearing, and then to the Village Board for their approval.

Member Stanek asked if there should be language added to regulate the size of the mural. He also asked that there be provisions to cover removals and the cost thereof.

Member Rugroden asked if the absolute exclusions in the language should be modified to allow exemptions with appropriate approvals.

Member Grokowsky asked if it would be necessary to define a mural. He also asked about the handling of any existing murals.

Member Anderson stated he felt that this language was a good start and would lend itself to getting quality and meaningful murals desired by the commission.

Member Barlow asked that the owner and artist responsibilities be addressed.

Administrator Heinig thanked the commission for their input and stated he would bring back a refined version for consideration next month.

Updates and other informational items from and before the Planning Commission:

None.

Adjourn:

Motion by Anderson, seconded by Stanek to adjourn at 7:05 pm. Carried 7-0.

Minutes prepared by Chris Dahl, Village Engineer

VILLAGE OF HOLMEN ANNEXATION PETITION

The undersigned, being all the electors and owners of all of the real property described below, do hereby petition the Village of Holmen for direct annexation of said described properties now located in the Town of Holland in La Crosse County, Wisconsin, to said Village of Holmen pursuant to Wisconsin Statutes, Sec. 66.0217(2) This land is contiguous to the Village of Holmen limits and is described as follows:

Description of property: AS shown on exhibit A

Total Acreage: 37.01

Tax Parcel No(s): 8-1062-4, 8-1062-0, 8-1065-0

The proposed Village zoning on these parcels is: Ag.

The current population of the territory affected by this petition is: 0

RECEIVED
4/24/19
11am

Dated this 15th day of April, 2019

State of Wisconsin} ss.

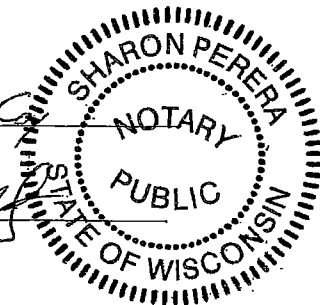
County of La Crosse}

Personally came before me this 15th day of April 2019.
Tyler McCoy, to me
known to be the person(s) who executed the fore-
going instrument and acknowledged the same.

[Signature]
Notary Public, State of Wisconsin
My Commission Expires: 4/26/2020

Tyler McCoy
Owner name

Tyler McCoy
Owner name



1045 Terrace Drive
Onalaska, WI 54650
Owner address

Dated this 15th day of April, 2019

State of Wisconsin} ss.

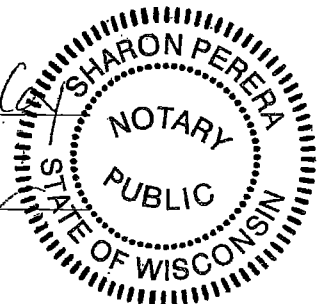
County of La Crosse}

Personally came before me this 15th day of April 2019.
Amanda McCoy, to me
known to be the person(s) who executed the fore-
going instrument and acknowledged the same.

[Signature]
Notary Public, State of Wisconsin
My Commission Expires: 4/26/2020

Amanda McCoy
Owner name

Amanda McCoy
Owner name



1045 Terrace Drive
Onalaska, WI 54650
Owner address

Dated this 17th day of April, 2019

State of Wisconsin}

}ss.

County of La Crosse}

Personally came before me this 17 day of April, 2019.
Jennie Staige, to me

known to be the person(s) who executed the foregoing instrument and acknowledged the same.

[Signature]
Notary Public, State of Wisconsin
My Commission Expires: 3-20-2020

Jennie Staige
Owner name
[Signature]
Owner name

N/8194 Amsterdam P.Rd.
Holmen, WI 54636
Owner address

Dated this 17 day of April, 2019

State of Wisconsin}

}ss.

County of La Crosse}

Personally came before me this 17 day of April, 2019.
Chris Staige, to me

known to be the person(s) who executed the foregoing instrument and acknowledged the same.

[Signature]
Notary Public, State of Wisconsin
My Commission Expires: 3-20-2020

Christopher Staige
Owner name
[Signature]
Owner name

N/8194 Amsterdam P.Rd
Holmen WI 54636
Owner address

Dated this _____ day of _____, 20__

State of Wisconsin}

}ss.

County of La Crosse}

Personally came before me this _____ day of _____, 20__.

_____, to me
known to be the person(s) who executed the foregoing instrument and acknowledged the same.

Notary Public, State of Wisconsin
My Commission Expires: _____

Owner name

Owner name

Owner address

Dated this 17^{23rd} day of April, 2019

State of Wisconsin}

}ss.

County of La Crosse}

Personally came before me this 23 day of April, 2019.

Talia Thelenmann, to me

known to be the person(s) who executed the foregoing instrument and acknowledged the same.

Brian M. Miller

Notary Public, State of Wisconsin

My Commission Expires: 08/30/19

Talia Thelenmann
Owner name

Owner name

Owner address

Dated this 23 day of April, 2019

State of Wisconsin}

}ss.

County of La Crosse}

Personally came before me this 23 day of April, 2019.

Tyler Thelenmann, to me

known to be the person(s) who executed the foregoing instrument and acknowledged the same.

Brian M. Miller

Notary Public, State of Wisconsin

My Commission Expires: 08/30/19

Tyler Thelenmann
Owner name

Owner name

Owner address

Dated this 24 day of April, 2019

State of Wisconsin}

}ss.

County of La Crosse}

Personally came before me this 24 day of April, 2019.

Justin and Heidi Kleinsmith, to me

known to be the person(s) who executed the foregoing instrument and acknowledged the same.

Angela Rucker

Notary Public, State of Wisconsin

My Commission Expires: 02/05/2022

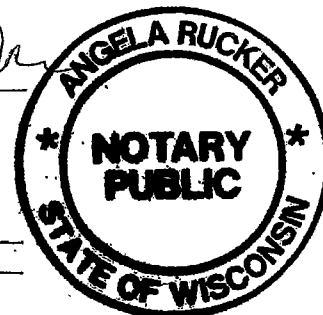
Justin Kleinsmith
Owner name

Heidi Kleinsmith
Owner name

702 Deerwood St

Holmen WI 54636

Owner address



ANNEXATION DESCRIPTION

PART OF THE SW1/4 OF THE SE1/4, AND PART OF THE SE1/4 OF THE SW1/4
OF SECTION 23, T18N, R8W, TOWN OF HOLLAND, LACROSSE COUNTY, WISCONSIN.
(PARCEL NUMBERS 8-1062-4, 8-1062-0 AND 8-1065-0)

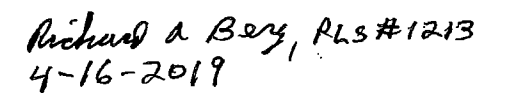
PART OF THE SW1/4 OF THE SE1/4, AND PART OF THE SE1/4 OF THE SW1/4 OF SECTION 23, T18N, R8W, TOWN OF HOLLAND, LACROSSE COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTH QUARTER CORNER OF SECTION 23, T18N, R8W, AS THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE S89°51'31"W, 284.43 FEET ALONG THE SOUTH LINE OF THE SE1/4 OF THE SW1/4 OF SAID SECTION 23, ALSO BEING THE CENTERLINE OF OLD HIGHWAY 93, TO THE SOUTHEAST CORNER OF A PARCEL OF LAND DESCRIBED IN DOCUMENT NUMBER 1526860 OF LACROSSE COUNTY RECORDS; THENCE N00°29'22"E, 499.63 FEET ALONG THE EAST LINE OF THE PARCEL DESCRIBED IN DOCUMENT NUMBER 1526860, TO THE NORTHEAST CORNER THEREOF; THENCE S89°50'48"W, 169.90 FEET ALONG THE NORTH LINE OF THE PARCEL DESCRIBED IN DOCUMENT NUMBER 1526860; THENCE N00°29'22"E, 53.41 FEET ALONG THE EAST LINE OF A PARCEL OF LAND DESCRIBED IN DOCUMENT NUMBER 1716810 OF LACROSSE COUNTY RECORDS, TO THE NORTHEAST CORNER THEREOF; THENCE S89°42'02"W, 869.97 FEET ALONG THE NORTH LINE OF THE PARCEL DESCRIBED IN DOCUMENT NUMBER 1716810, TO THE WEST LINE OF THE SE1/4 OF THE SW1/4 OF SECTION 23, T18N, R8W; THENCE N00°29'10"E, 250.85 FEET ALONG THE WEST LINE OF THE SE1/4 OF THE SW1/4 OF SECTION 23, T18N, R8W, ALSO BEING THE CENTERLINE OF AMSTERDAM PRAIRIE ROAD, TO THE SOUTHWEST CORNER OF A PARCEL OF LAND DESCRIBED IN DOCUMENT NUMBER 1716809 OF LACROSSE COUNTY RECORDS; THENCE N89°42'02"E, 869.98 FEET ALONG THE SOUTH LINE OF THE PARCEL DESCRIBED IN DOCUMENT NUMBER 1716809, TO THE SOUTHEAST CORNER THEREOF; THENCE N00°29'22"E, 517.51 FEET ALONG THE EAST LINE OF THE PARCEL DESCRIBED IN DOCUMENT NUMBER 1716809, TO THE NORTH LINE OF THE SE1/4 OF THE SW1/4 OF SECTION 23, T18N, R8W; THENCE N89°42'02"E, 451.37 FEET ALONG THE NORTH LINE OF THE SE1/4 OF THE SW1/4 OF SAID SECTION 23, TO THE NORTHEAST CORNER THEREOF; THENCE S89°54'44"E, 661.88 FEET ALONG THE NORTH LINE OF THE SW1/4 OF THE SE1/4 OF SECTION 23, T18N, R8W, TO THE WEST LINE OF A PARCEL OF LAND DESCRIBED IN DOCUMENT NUMBER 1687878 OF LACROSSE COUNTY RECORDS; THENCE S00°00'55"E, 1319.79 FEET ALONG THE WEST LINE OF THE PARCEL DESCRIBED IN DOCUMENT NUMBER 1687878, AND ALONG THE WEST LINE OF OUTLOT 2 OF THE RECORDED SUBDIVISION PLAT OF SEVEN BRIDGES ADDITION, TO THE SOUTH LINE OF THE SW1/4 OF THE SE1/4 OF SECTION 23, T18N, R8W; THENCE S89°51'00"W, 670.55 FEET ALONG SAID SOUTH LINE, ALSO BEING THE CENTERLINE OF OLD HIGHWAY 93, TO THE POINT OF BEGINNING OF THIS DESCRIPTION.

CONTAINING 37.01 ACRES.

DRAFTED BY: RICHARD A. BERG, PLS #1213

Richard A. Berg 4-16-2019

PART OF THE SW1/4 OF THE SE1/4, AND PART OF THE SE1/4 OF THE SW1/4
OF SECTION 23, T18N, R8W. TOWN OF HOLLAND, LACROSSE COUNTY, WISCONSIN.
(PARCEL NUMBERS 8-1062-4, 8-1062-0, AND 8-1065-0)



GENERAL NOTES - EROSION CONTROL

1.0 STANDARDS:

- 1.1 ALL WORK SHALL MEET THE STANDARDS OUTLINED IN WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) CONSTRUCTION SITE EROSION AND SEDIMENT TECHNICAL STANDARDS AND THE LOCAL MUNICIPALITIES SOIL EROSION CONTROL ORDINANCE FOR BOTH PERFORMANCES AND IMPLEMENTATION.
- 1.2 ADDITIONAL EROSION CONTROL FACILITIES MAY BE REQUIRED DUE TO UNFORESEEN PROBLEMS.
- 1.3 SEDIMENT CONTROL STRUCTURES BELOW SODDED AREAS MAY BE REMOVED ONCE SOD AND FINAL LANDSCAPING IS IN PLACE. SEDIMENT CONTROL STRUCTURES BELOW SEEDED AREAS MUST REMAIN IN PLACE UNTIL THE ENTIRE AREA HAS ESTABLISHED A MATURE COVERING OF HEALTHY VEGETATION. SEDIMENT CONTROL STRUCTURES IN PAVED AREAS SHALL REMAIN IN PLACE UNTIL PAVING IS COMPLETE.
- 1.4 SEDIMENT DEPOSITED IN ROAD DITCHES ADJACENT TO THIS SITE AS A RESULT OF THIS WORK SHALL BE REMOVED AS NECESSARY TO MAINTAIN EXISTING GRADES AND ELEVATIONS. VEGETATION SHALL BE ESTABLISHED WHEN SEDIMENT REMOVAL DESTROYS THE EXISTING VEGETATION. THE ESTABLISHMENT OF VEGETATION SHALL BE IN THE SAME MANNER AS SPECIFIED FOR SEEDING SPECIFIED ELSEWHERE ON THIS PLAN.
- 1.5 SILT FENCE SHALL BE PLACED DOWN SLOPE OF ALL SOIL STOCK PILES DURING CONSTRUCTION IF LEFT MORE THAN SEVEN DAYS. STOCK PILES SHALL BE SEEDED AND MULCHED IF LEFT FOR MORE THAN 14 DAYS. SILT FENCE SHALL BE INSTALLED TO CONFORM WITH WDNR TECHNICAL STANDARD 1056.
- 1.6 STORM DRAIN INLET PROTECTION SHALL BE PROVIDED AROUND INLETS. STORM DRAIN INLET PROTECTION SHALL BE INSTALLED AND CONFORM WITH WDNR TECHNICAL STANDARD 1060. TYPE "A" PROTECTION SHALL BE PROVIDED UNTIL CRUSHED AGGREGATE IS PLACED. TYPE "B" OR "C" SHALL BE UTILIZED ONCE AGGREGATE IS PLACED UNTIL FINAL PAVEMENT AND ESTABLISHMENT OF VEGETATION.

2.0 EXECUTION:

- 2.1 ALL DISTURBED AREAS SHALL TOPSOIL APPLIED, AND BE SODDED, MULCHED, AND FERTILIZED WITHIN 7 DAYS OF FINAL DISTURBANCE.
- 2.2 SEED SHALL BE PLANTED IN A MANNER THAT ALLOWS THE SEED TO BE WORKED INTO THE SOIL AND COME IN FIRM CONTACT WITH THE SOIL. SEEDING AND MULCHING SHALL BE ACCOMPLISHED USING THE FOLLOWING MATERIALS AND METHODS:
- 2.2.1 4" OF TOPSOIL SHALL BE PLACED ON ALL AREAS WITHIN THE PROJECT LIMITS EXCEPT WHERE ANOTHER SURFACE TREATMENT IS SPECIFIED.
- 2.2.2 EROSION MAT SHALL BE USED IN PLACE OF MULCH WHERE SPECIFIED. EROSION MAT SHALL BE INSTALLED TO CONFORM WITH WDNR TECHNICAL STANDARD 1052.
- 2.2.3 SEED MIX SHALL BE "LC" "GRASSY" AND APPLIED AT A RATE OF 120 LBS/ACRE.
- 2.2.4 MULCHING WITH STRAW SHALL CONSIST OF EVENLY SPREADING (3) 40 LB. BALES OF CLEAN WHEAT OR OAT STRAW PER 1000 S.F. OF DISTURBED AREA COVERED.
- 2.3 A TEMPORARY BERM OR CHANNEL SHALL BE CONSTRUCTED ACROSS THE SLOPE TO COLLECT AND DIVERT RUNOFF FROM ENTERING OR EXITING DISTURBED AREAS. CONSTRUCTION SITE DIVERSION SHALL CONFORM WITH WDNR TECHNICAL STANDARD 1056.
- 2.4 A STONE TRACKING PAD SHALL BE PROVIDED AT EACH CONSTRUCTION ACCESS POINT. STONE TRACKING PAD SHALL CONFORM WITH WDNR TECHNICAL STANDARD 1057.

3.0 MAINTENANCE:

- 3.1 MAINTENANCE OF ALL INSTALLED EROSION AND SEDIMENT CONTROL DEVICES SHALL BE THE RESPONSIBILITY OF THE OWNER. HOWEVER, THE INSTALLER SHALL PERFORM REQUIRED MAINTENANCE AT THE DIRECTION OF THE OWNER.
- 3.2 INSPECTING ALL EROSION AND SEDIMENT CONTROL DEVICES WEEKLY AND WITHIN 24 HOURS OF A RAINFALL EVENT OF 0.5 INCHES OR GREATER.
- 3.3 AREAS THAT HAVE BEEN DAMAGED OR ERODED SHALL BE RESTORED WITHIN SEVEN DAYS OF THE DAMAGE.
- 3.4 STONE TRACKING CONTROL APRON SHALL BE REMOVED AND REPLACED WHEN VOIDS BECOME FILLED WITH SEDIMENT OR IF SURFACE OPENINGS BECOME PLUGGED SO THAT THE APRON DOES NOT FUNCTION.
- 3.5 SILT FENCES SHALL BE MAINTAINED IN A FUNCTIONING MANNER. FENCES SHALL NOT BE ALLOWED TO SAG, FALL DOWN, OR BECOME FILLED WITH SILT ON THE BACK SIDE. IF SILT BUILDS UP BEHIND A SILT FENCE IT SHALL BE REMOVED IMMEDIATELY, UNDER NO CIRCUMSTANCE SHALL SILT DEPOSITS BE ALLOWED TO REACH MORE THAN HALF THE HEIGHT OF THE FENCE. SILT FENCE SHALL BE INSTALLED TO CONFORM WITH WDNR TECHNICAL STANDARD 1056.

4.0 REMOVING CONTROL MEASURES:

- 4.1 SEDIMENT CONTROL STRUCTURES BELOW SODDED AREAS MAY BE REMOVED ONCE SOD AND FINAL LANDSCAPING IS IN PLACE. SEDIMENT CONTROL STRUCTURES BELOW SEEDED AREAS MUST REMAIN IN PLACE UNTIL THE ENTIRE AREA HAS ESTABLISHED A MATURE COVERING OF HEALTHY VEGETATION. CONTRACTOR SHALL REMOVE CONTROL MEASURES WHEN THE SITE HAS ESTABLISHED A VEGETATION COVER OR WHEN DIRECTED TO DO SO BY THE OWNER.

- NOTES - GRADING
- ALL ELEVATIONS SHOWN ARE TO FINISH SURFACE, ANY ADJUSTMENT TO SUBGRADE IS THE CONTRACTOR'S RESPONSIBILITY.
 - ALL LANDSCAPED OR SODDED AREAS SHALL HAVE A MINIMUM OF 4" OF TOPSOIL.
 - ALL FINISHED GRADING SHALL PROVIDE FOR A SMOOTH TRANSITION TO UNGRADED AREAS.
 - ALL GRADING SHALL BE CONSIDERED UNCLASSIFIED.
 - THERE MAY BE UNDERGROUND UTILITIES NOT SHOWN ON THE PLAN. CALL DIGGERS HOTLINE PRIOR TO COMMENCING WORK.
 - MAXIMUM SLOPES ON PONDS SHALL NOT BE GREATER THAN 3:1.
 - 1" UN-COMPACTED TOPSOIL SHALL BE PLACED ON THE BOTTOM OF PONDING AREA.

BASIS OF BEARING
LA CROSSE COUNTY
COORDINATE SYSTEM

SCALE: 1" = 40'
0 20 40

SURVEYED BY:
LA CROSSE ENGINEERING &
SURVEYING CO., INC
1212 S. 3RD ST
LA CROSSE, WI 54601

SURVEY REQUESTED BY:
BIRDD CONSTRUCTION
W3751 Western Hills Drive
West Salem, WI 54689

C1

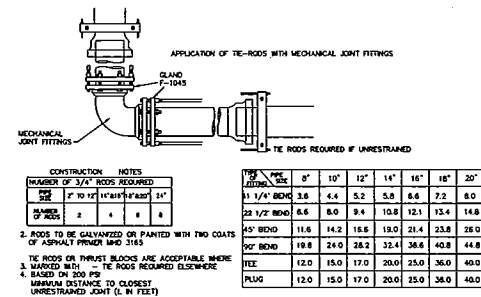
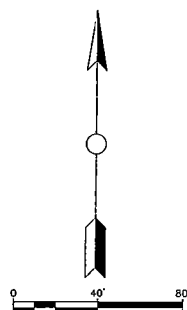
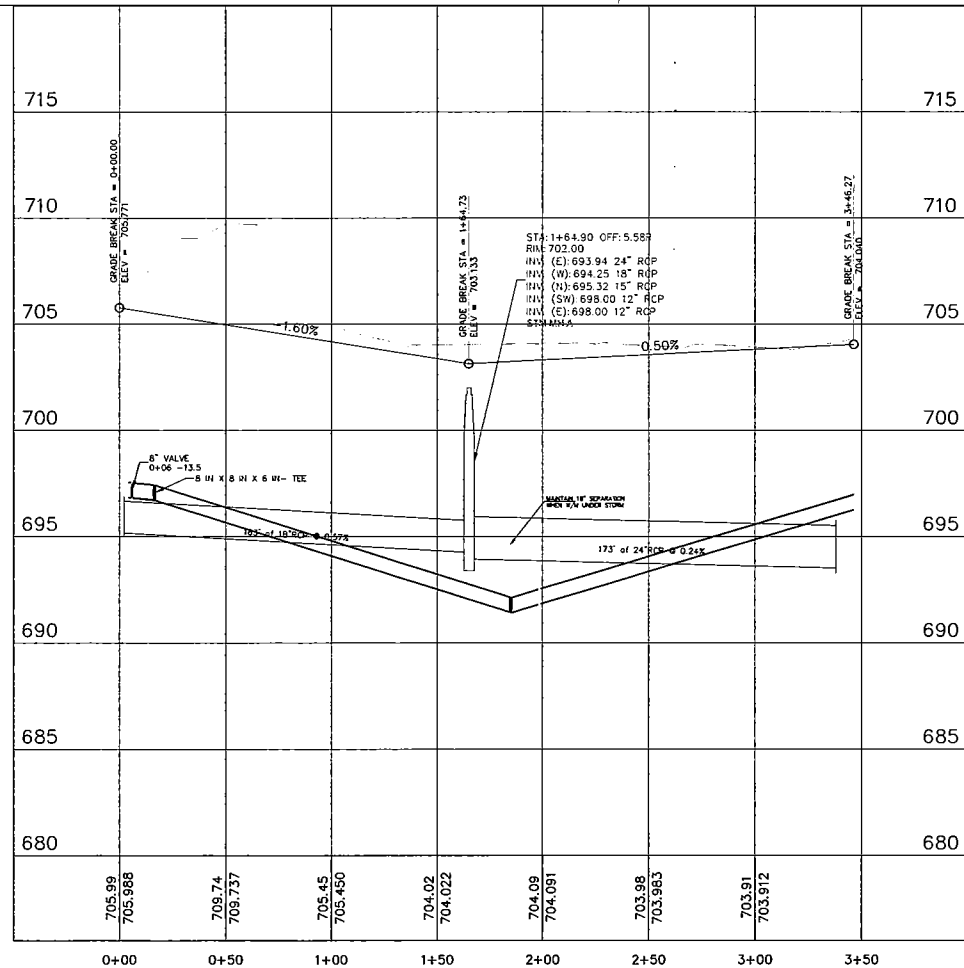
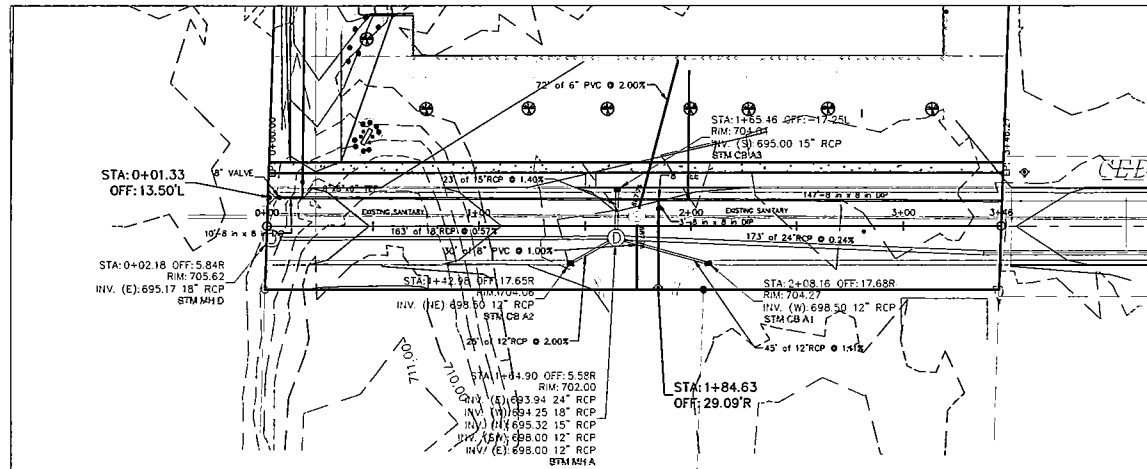
DRAWN BY: FJA
705

DATE: 04/10/2019

FILE: birdc apartments

BIRDD CONSTRUCTION
FIELD OF DREAMS II
SITE GRADING PLAN

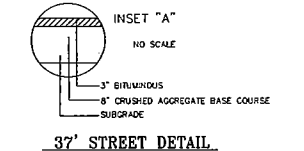
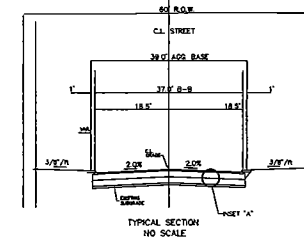
LA CROSSE
ENGINEERING & SURVEYING CO., INC.
1212 S. 3RD STREET, LA CROSSE, WI 54601
Office: (608)762-3420 Fax: (608)762-3452
www.lacrosseeng.com



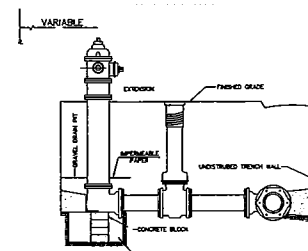
WATERMAIN TIE-RODS

	ROCK	GRAVEL	SAND	SILT-CLAY	SOFT CLAY
6" FITTINGS					
11 1/4" BOND	1.0	1.0	1.0	1.0	1.0
22 1/2" BOND	1.0	1.0	1.0	1.0	1.0
45" BOND	1.0	1.0	1.0	1.0	2.0
TEE-PLUG	1.0	1.0	1.0	1.5	2.5
90° BOND	1.0	1.0	1.0	2.0	3.5
8" FITTINGS					
11 1/4" BOND	1.0	1.0	1.0	1.0	1.0
22 1/2" BOND	1.0	1.0	1.0	1.0	1.5
45" BOND	1.0	1.0	1.0	1.5	3.0
TEE-PLUG	1.0	1.0	1.5	2.0	4.0
90° BOND	1.0	1.5	2.0	3.0	6.0
12" FITTINGS					
11 1/4" BOND	1.0	1.0	1.0	1.0	2.0
22 1/2" BOND	1.0	1.0	1.5	2.0	3.5
45" BOND	1.0	2.0	2.5	4.0	7.5
TEE-PLUG	1.0	2.5	3.0	5.0	9.5
90° BOND	1.5	3.5	4.5	7.0	13.5

WATERMAIN THRUST BLOCK AND ARREST

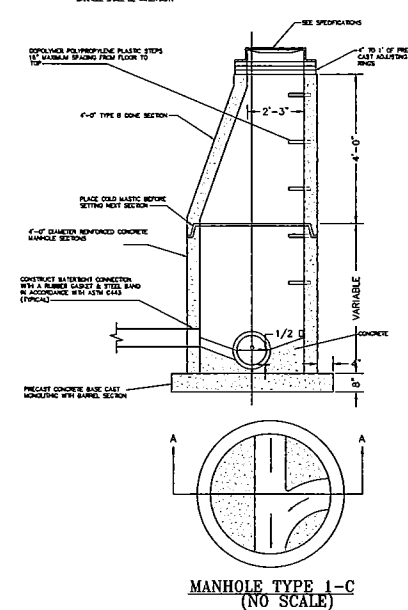


37" STREET DETAIL



NOTE:

- WHEREVER WATER MAINS CROSS UNDER SEWERS, A MINIMUM VERTICAL CLEARANCE OF 18 INCHES SHALL BE MAINTAINED, AND AT ALL CROSSINGS ONE FULL LENGTH OF WATER PIPE SHALL BE CENTERED ON THE SEWER SO THAT BOTH JOINTS ARE AS FAR FROM SEWER AS POSSIBLE.
- MAINTAIN 7 FOOT OF COVER OVER TOP OF WATERMAIN.
- WYE LOCATIONS ARE MEASURED FROM DOWN STREAM MANHOLE.
- RISER MEASUREMENTS FROM CENTERLINE GRADE.



MANHOLE TYPE 1-C (NO SCALE)

GENERAL NOTES:

1. DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE LATEST EDITION OF THE WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION AND THE APPLICABLE SPECIAL PROVISIONS.

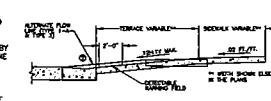
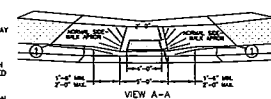
2. RAMP SHALL BE BUILT AT 12% OR FLATTER. WHEN NECESSARY, THE SLOPE SHALL BE LOW ENOUGH TO MEET THE HIGH POINT ON THE RAMP.

3. TYPE 1 RAMP SHALL HAVE A NORMAL SIDEWALK APRON AND CURB ON BOTH SIDES OF THE RAMP.

4. SELECT CURB RAMP DETECTABLE WARNING FIELD MATERIALS AND COLORS FROM THE MCDOT'S APPROVED MATERIALS LIST.

5. SURFACE TEXTURE OF THE RAMP SHALL BE OBTAINED BY COARSE BROOMING TRANSVERSE TO THE SLOPE OF THE RAMP.

6. THIS POINT IS AN EXTENSION OF OUTSIDE EDGE OF APPROACHING SIDEWALK WHERE IT MEETS THE BACK OF CONCRETE CURB.



CURB RAMP

LA CROSSE
ENGINEERING & SURVEYING CO., INC.
222 S. 3rd Street, La Crosse, WI 54601
Phone: (608) 785-4444
Fax: (608) 785-4445
www.lacrosse-engineering.com

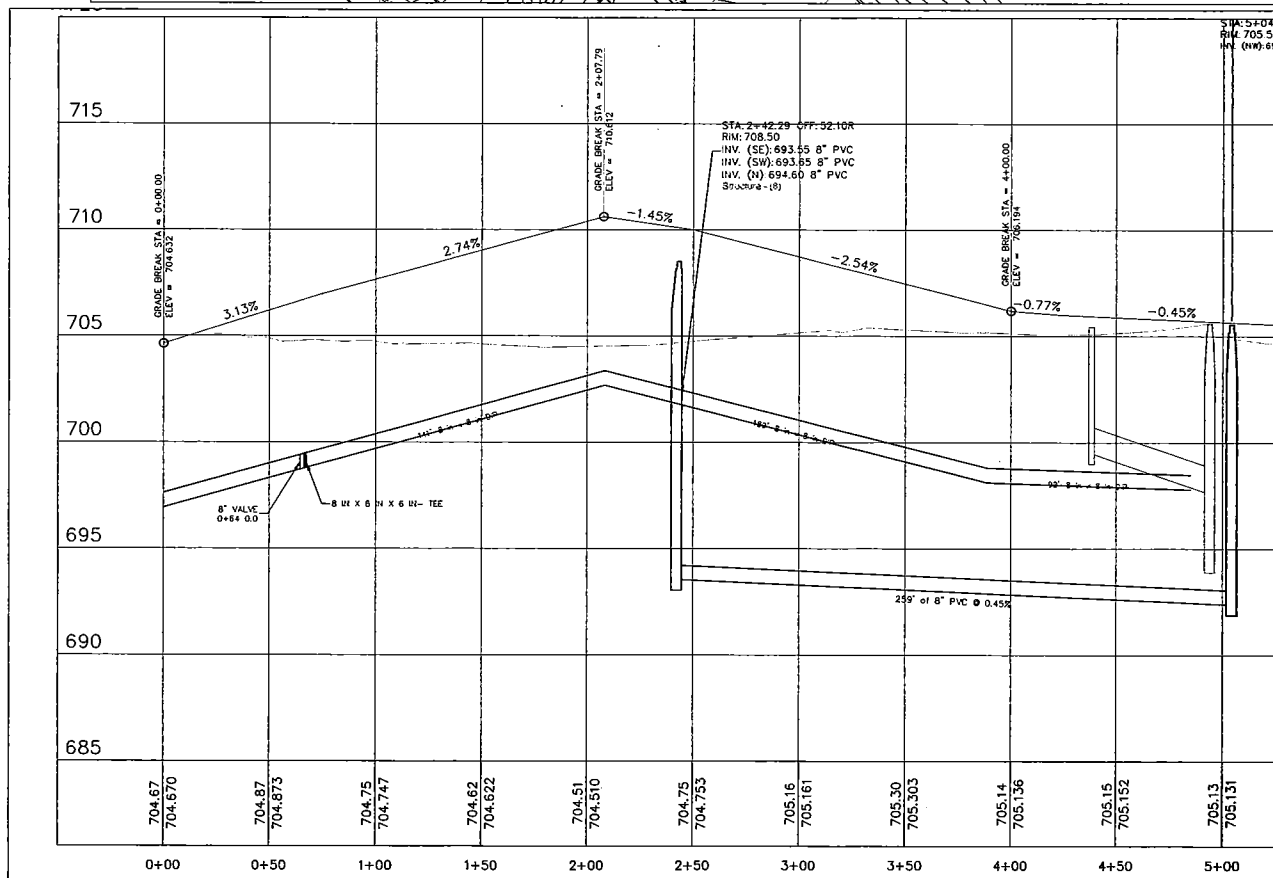
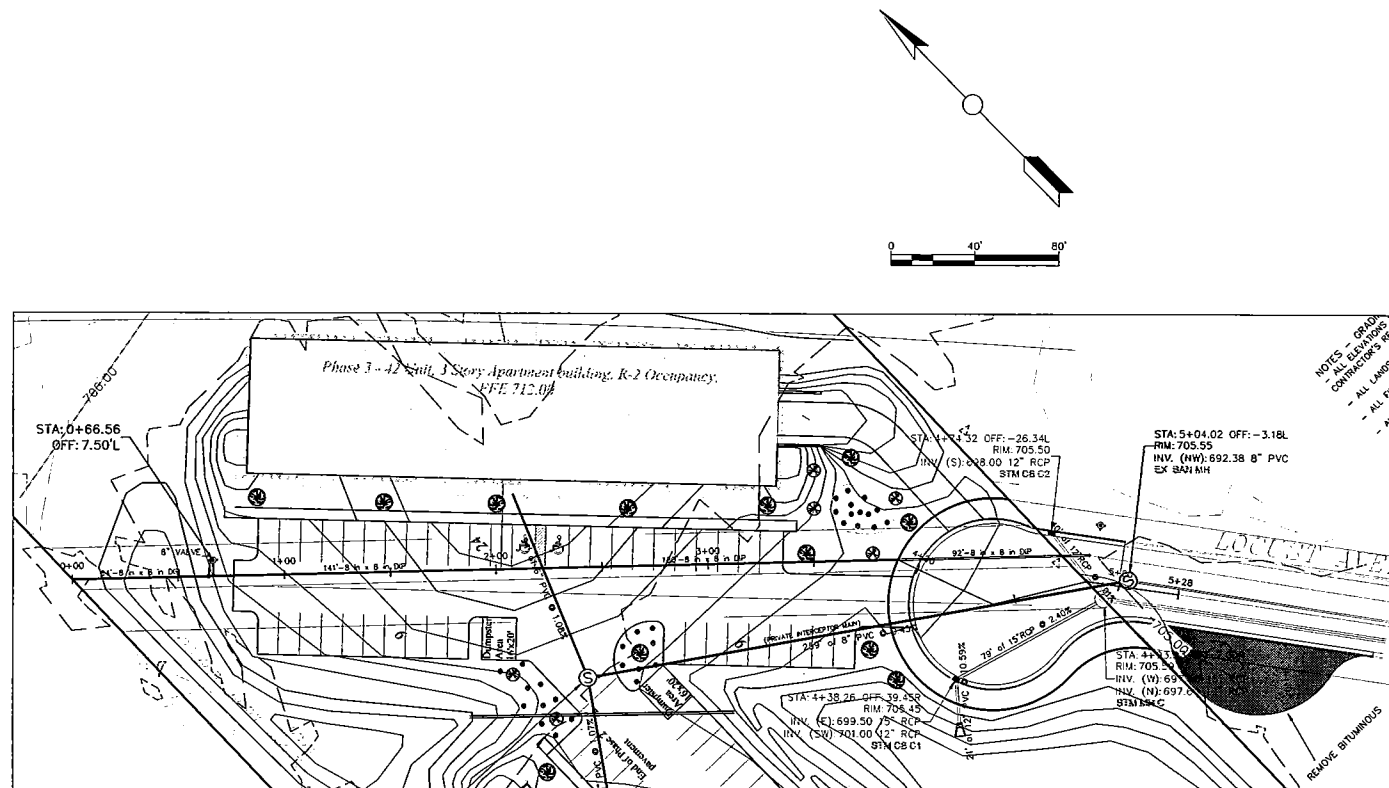
**FIELD OF DREAMS II
VILLAGE OF HOLMEN
CEDAR BIRD LANE**

DATE: 4/29/2019

FILE: BRDD APARTMENTS

DRAWN BY: FJM

C2



RoDon

RoDon Corporation
251 N. 17th St., Suite 201, St. Cloud, MN 56301
(800) 225-1475 Fax: (800) 225-1476
www.rodoncorp.com

The Original HydraFinder™

Standard 3/8" diameter white laminar matrix fiberglass with four 6" red and four 6" white highly reflective tape strips that provide instant day and night visibility in all weather conditions and situations of heavy snowfall and seasonal vegetation overgrowth.

HydraFinder™ shaft is attached to a heavy duty MIL SPEC zinc plated carbon steel spring that allows 360° rod flexibility.

Easy hydrant installation with a mounting bracket that fits onto the existing 5/8" hydrant bolt.

Complete assembly is corrosion and UV resistant.

The RoDon HydraFinder™ is available in 5', 6' and 7' lengths. Custom shaft lengths are available upon request.

Reflective tape strips may be ordered in standard red, blue, green, yellow or orange.

MOUNTING BRACKETS

- A. Flat Bracket
- B. "L" US Pipe Bracket
- C. Port Mount Bracket
- D. Extended Mount
- E. HydraView

"Innovators of High Visibility Locating Devices"

NOTE:
- WHEREVER WATER MAINS CROSS UNDER SEWERS, A MINIMUM VERTICAL CLEARANCE OF 18 INCHES SHALL BE MAINTAINED. AND AT ALL CROSSINGS ONE FULL LENGTH OF WATER PIPE SHALL BE CENTERED ON THE SEWER SO THAT BOTH JOINTS ARE AS FAR FROM SEWER AS POSSIBLE.
- MAINTAIN 7 FOOT OF COVER OVER TOP OF WATERMAIN.
- WYE LOCATIONS ARE MEASURED FROM DOWN STREAM MANHOLE.
- RISER MEASUREMENTS FROM CENTERLINE GRADE.

LA CROSSE
ENGINEERS & SURVEYORS, INC.
251 N. 17th St., Suite 201, St. Cloud, MN 56301
Office: (800) 225-1475 Fax: (800) 225-1476
www.lacrosseinc.com

FIELD OF DREAMS II
VILLAGE OF HOLMEN
LOCUST LANE EXTENSION

DATE: 4/29/2019

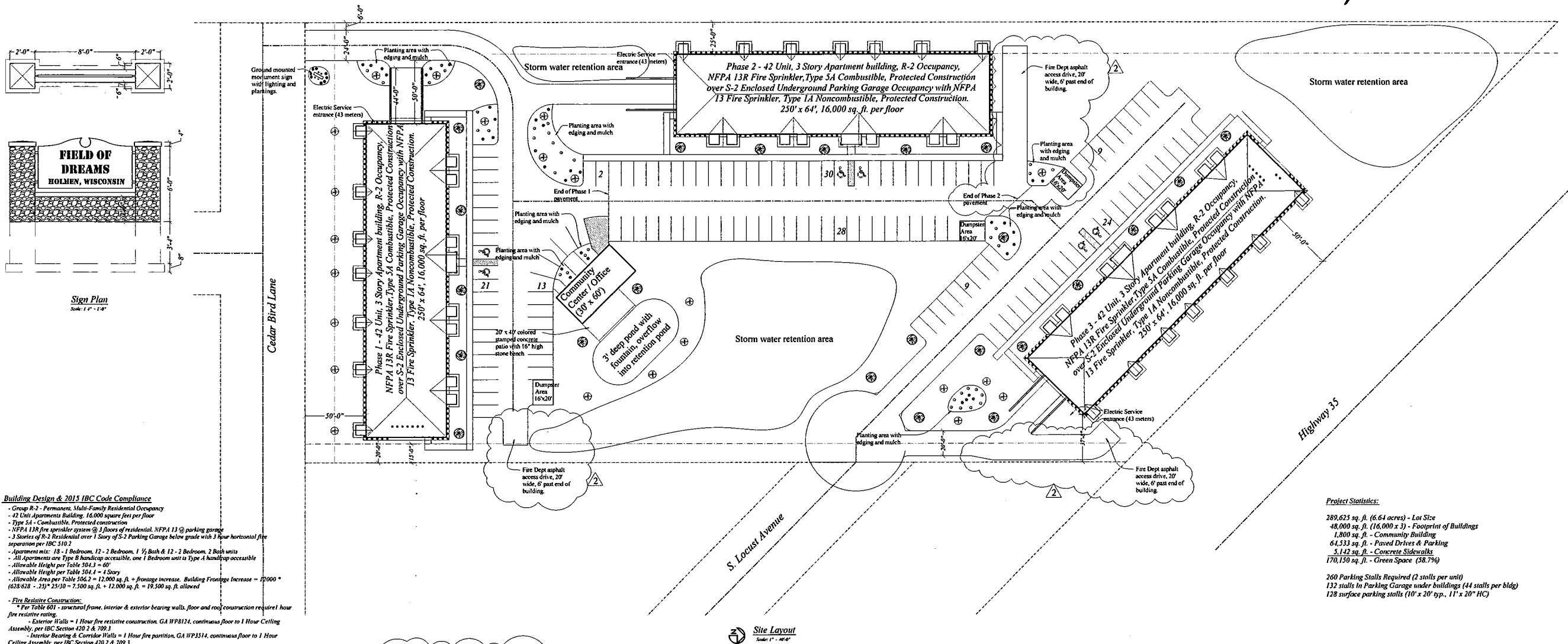
FILE: BIRD APARTMENTS

DRAWN BY: F.J.H.

C3

Field of Dreams, Phase 3

Holmen, Wisconsin



Building Exterior Colors:

Colors common to all 3 buildings:

- Gable End Shakes: #809 Rustic Cedar with 1x6 freeze & sill board
- Corners, Door & Windows & Trim: Wicker, 1x6 @ head & 1x4 @ sides and bottom
- Stone Wainscot: Trillite, Stack Mountain Ledge, Carmel with matching cap
- Vertical Board & Batton Siding: Soft Maple
- 30 yr Asphalt Shingles: Weathered Wood

Main Siding Colors:

- Building #1: Wedgewood Blue
- Building #2: Redwood Red
- Building #3: Weather Grey

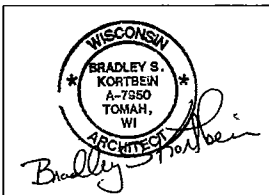
Project Statistics:

289,625 sq. ft. (6.64 acres) - Lot Size
+8,000 sq. ft. (16,000 x 3) - Footprint of Buildings
1,800 sq. ft. - Community Building
64,533 sq. ft. - Paved Drives & Parking
3,142 sq. ft. - Concrete Sidewalks
170,150 sq. ft. - Green Space (58.7%)

260 Parking Stalls Required (2 stalls per unit)
132 stalls in Parking Garage under buildings (44 stalls per bldg)
128 surface parking stalls (10' x 20' typ., 11' x 20' HC)

DRAWING SCHEDULE

SHEET	DESCRIPTION	DATE
A1	Site Layout & Code Data	5/1/19
A2	Basement & 1st Floor Plans	5/1/19
A3	2nd & 3rd Floor Plans	5/1/19
A4	Building Elevations	4/11/19
A5	Apartment Layouts	4/11/19
A6	Apartment Layouts & Schedules	4/11/19
A7	Garage Entry & Patio/Deck Sections	4/11/19
A8	Elevator & Stair Sections	5/1/19
S1	Footings/Foundation & 1st Flr - Structure	5/1/19
S2	2nd & 3rd Floor Framing - Structure	5/1/19
S3	Roof Framing & Structural Details	5/1/19



Cornerstone Architects, LLC

"Designing the Future"

PO Box 288 201 W. Veterans Street

Tomah, Wisconsin 54660

Phone 608-374-5500 Email: brad@cornerstonearch.com

Holmen Investments, LLC

Field of Dreams, Phase 3

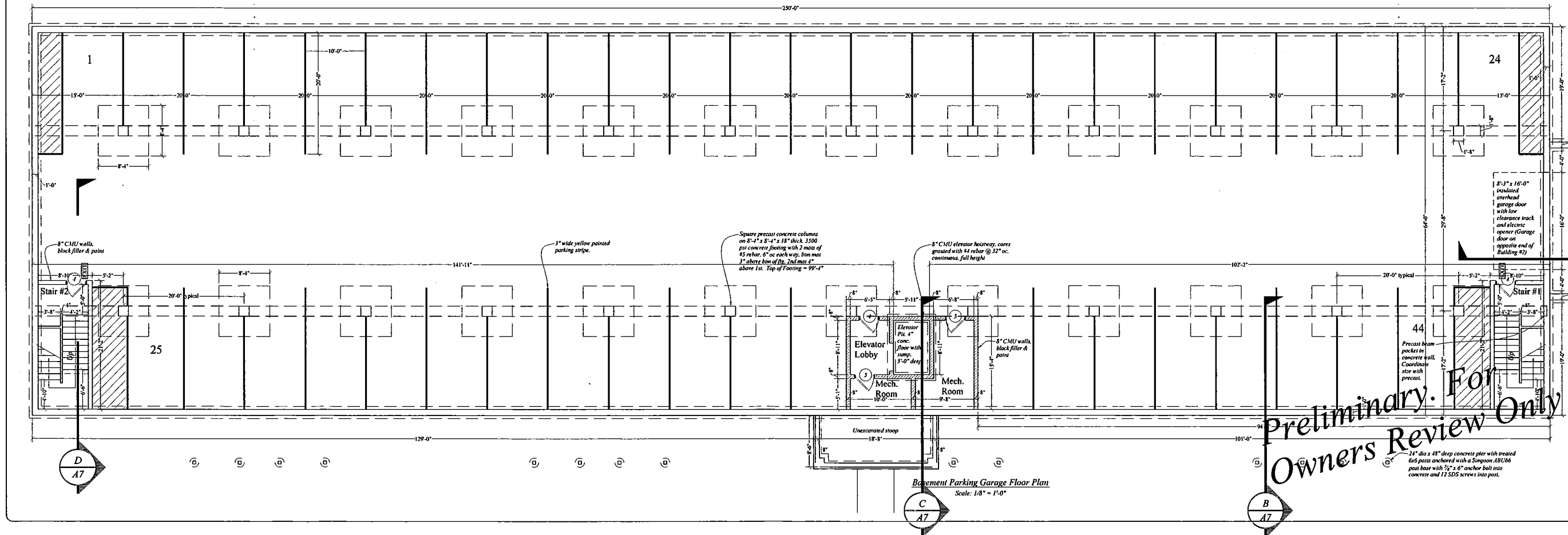
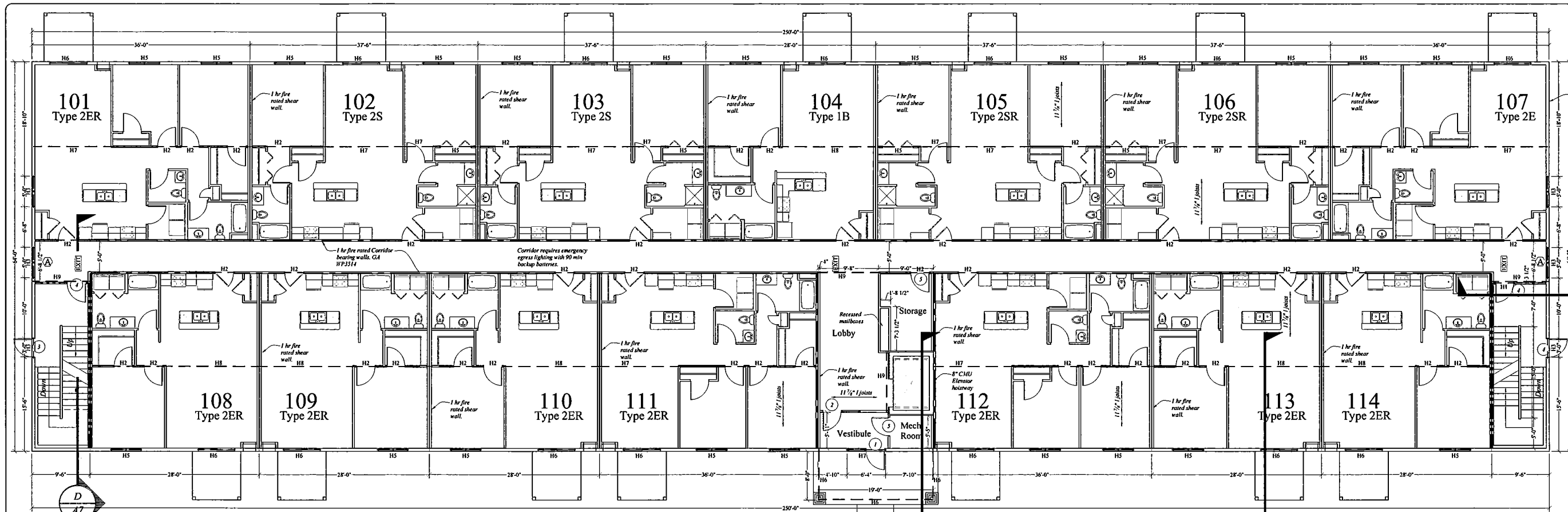
Cedar Bird Lane Holmen, WI 54636

Project: Site Layout & Code Data

By: BSK Date: 5/1/19 Scale: As Shown File: A1

Check: BSK Date: 5/1/19 Revision: 1

Sheet No: A1

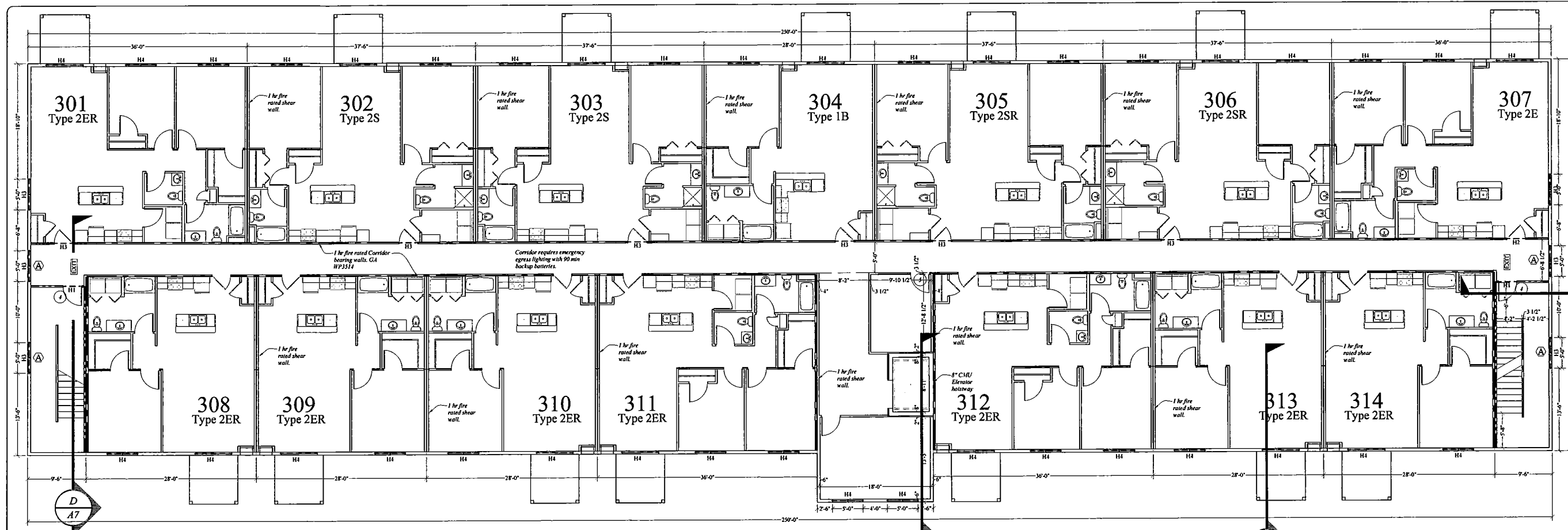


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PO Box 288 201 W. Veterans Street
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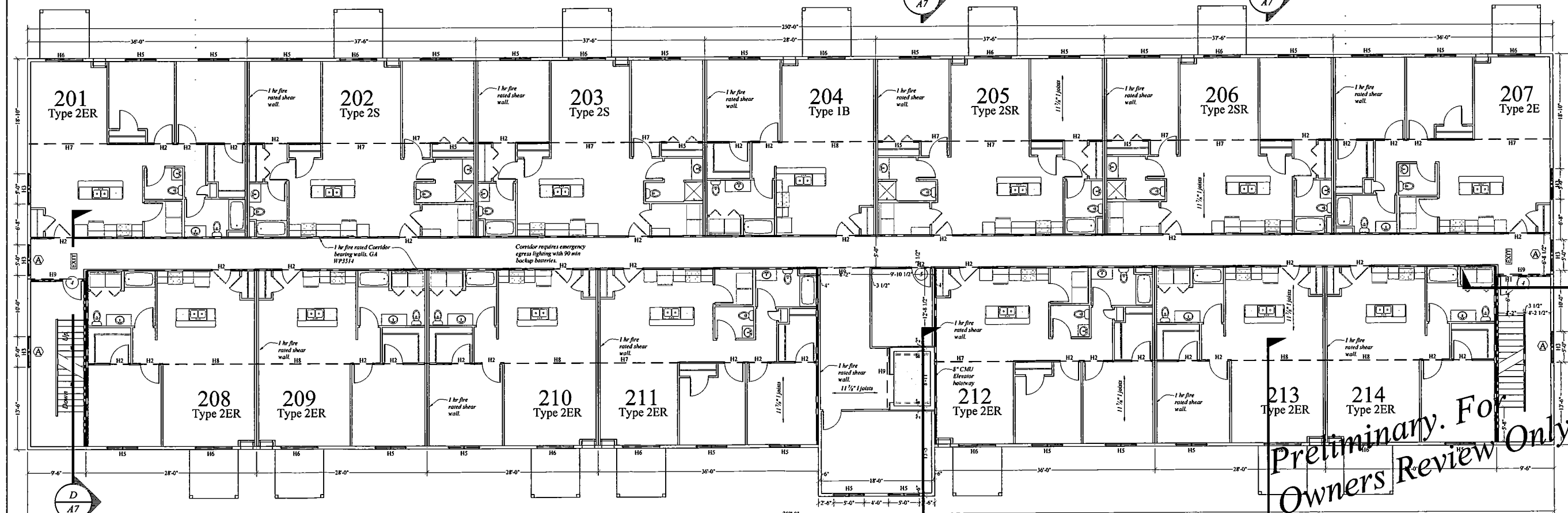
Holmen Investments, LLC
Field of Dreams, Phase 3
Cedar Bird Lane, Holmen, WI 54636

Preliminary. For Owners Review Only

Sheet Description	Basement & 1st Floor Plans
By:	As Noted
Date:	2/28/19
Scale:	1/8" = 1'-0"
Revision:	
Sheet No.	A2



Third Floor Building Plan
Scale: 1/8" = 1'-0"



Second Floor Building Plan
Scale: 1/8" = 1'-0"

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Phone 608-374-3300 Email: brad@cornerstonearchitects.com

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Sheet No.	Revision	Date	By	Scale	As Noted
A3	1	2/20/19			

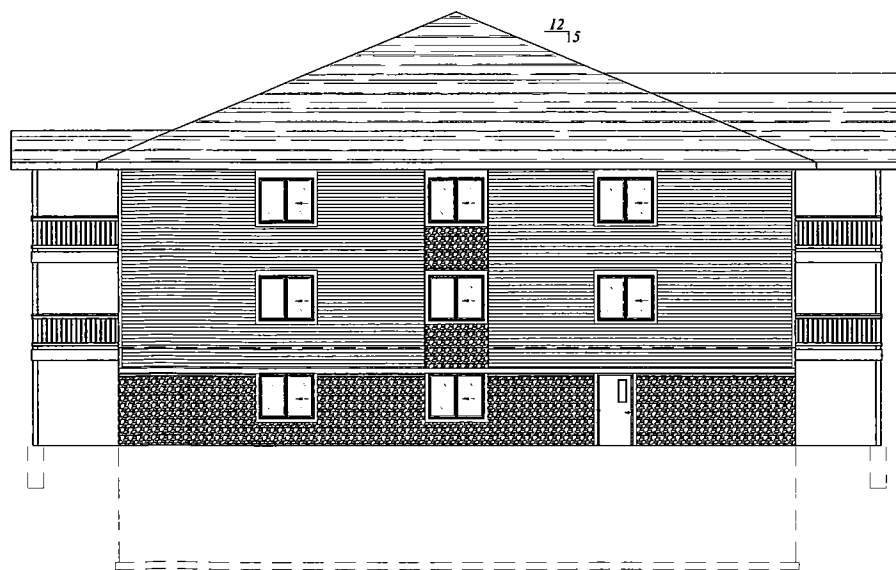
A3



Front Elevation (Bldg 1 East, Bldg 2 South)
Scale: 1/8" = 1'-0"



Back Elevation (Bldg 1 West, Bldg 2 North)
Scale: 1/8" = 1'-0"

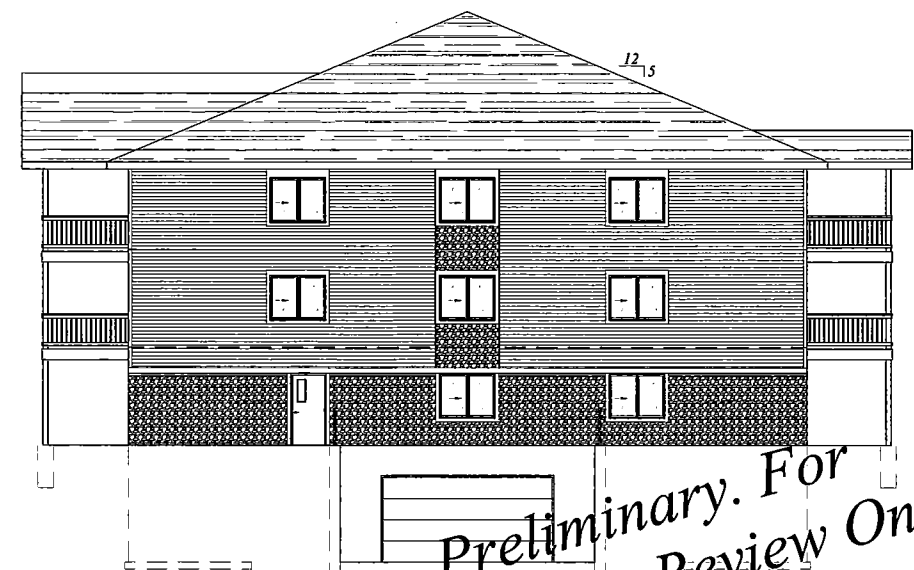


Bldg 1 South Elevation (Bldg 2 East Elevation)
Scale: 1/8" = 1'-0"

Building Exterior Colors:

- Colors common to all 3 buildings:
- Gable End Shakes: #809 Rustic Cedar with 1x6 freeze & sill board
 - Corners, Door & Windows & Trim: Wicker, 1x6 @ head & 1x4 @ sides and bottom
 - Stone Wainscot: Trillite, Stack Mountain Ledge, Carmel with matching cap
 - Vertical Board & Batton Siding: Soft Maple
 - 30 yr Asphalt Shingles: Weathered Wood

- Main Siding Colors:
- Building #1: Wedgewood Blue
 - Building #2: Redwood Red
 - Building #3: Weather Grey



Bldg 1 North Elevation (Bldg 2 West Elevation)
Scale: 1/8" = 1'-0"

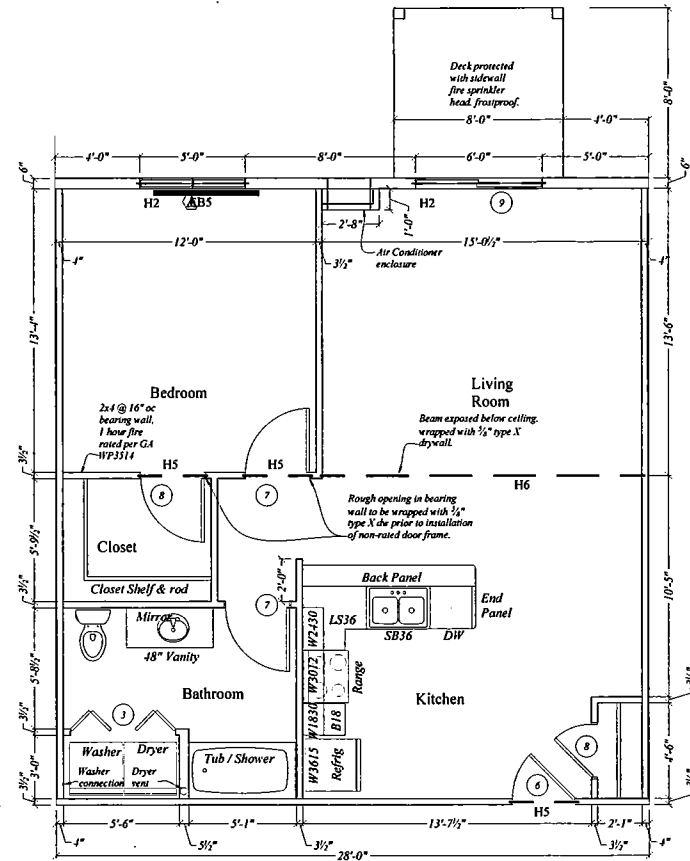
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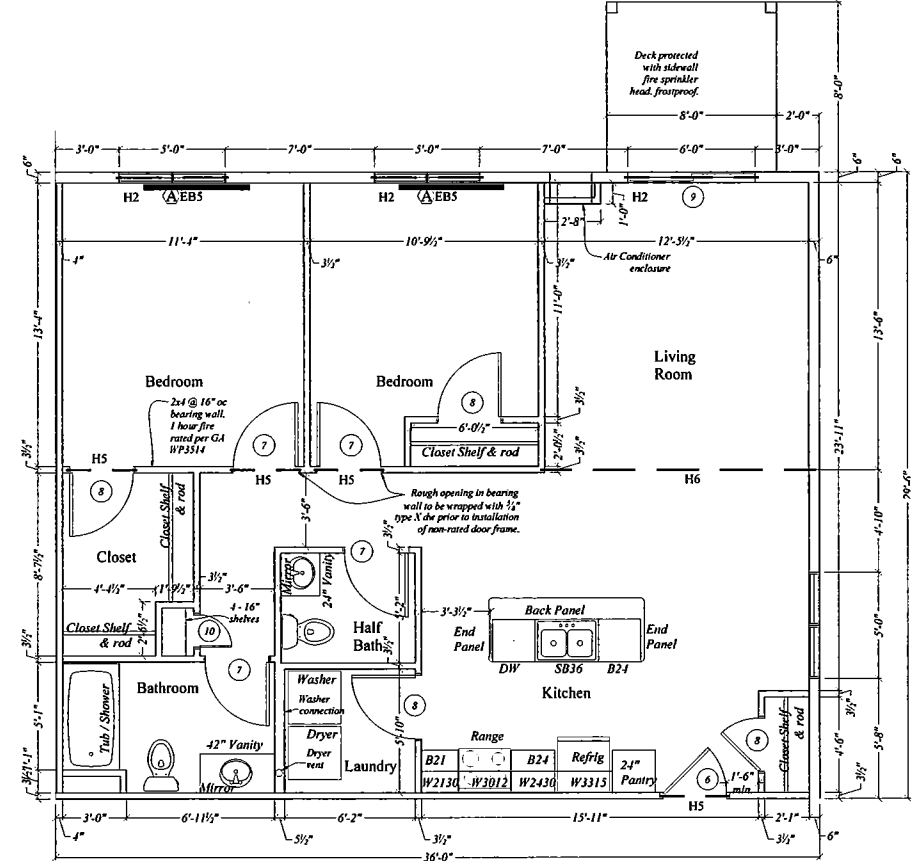
PO Box 288 201 W. Veterans Street
Tosha Wisconsin 54601
Phone: 608-374-8300 Email: brad@cornerstonearch.com

Holmen Investments, LLC
Field of Dreams, Phase 3
Cedar Bird Lane, Holmen, WI 54636

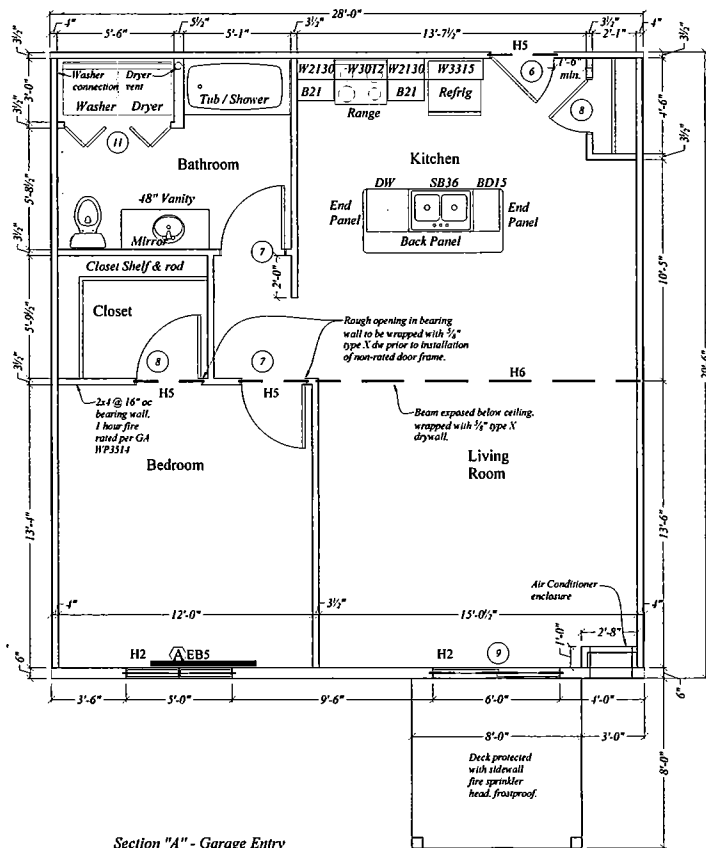
Project:	Field of Dreams, Phase 3
Sheet Description:	Elevation
By:	AA
Date:	2/20/19
Scale:	As Noted
File:	
Revisions:	
Revised:	
Drawn:	
Check:	
Scale:	1/8" = 1'-0"
Sheet No.:	A4



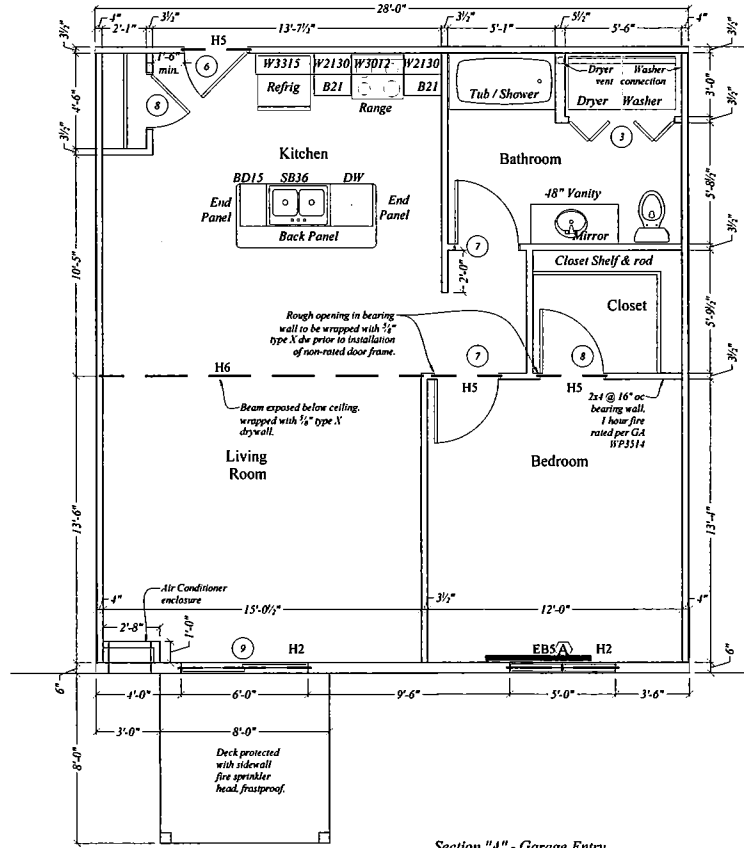
Section "A" - Garage Entry
Scale: 1/4" = 1'-0"



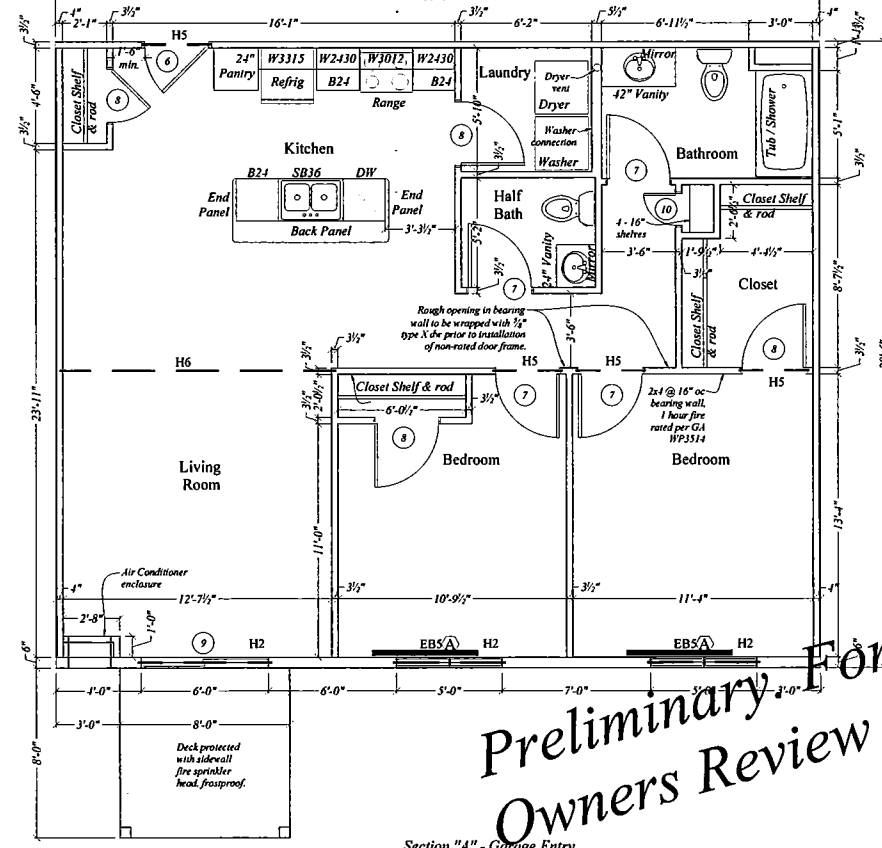
Section "A" - Garage Entry
Scale: 1/4" = 1'-0"



Section "A" - Garage Entry
Scale: 1/4" = 1'-0"



Section "A" - Garage Entry
Scale: 1/4" = 1'-0"



Section "A" - Garage Entry
Scale: 1/4" = 1'-0"

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Phone 608-374-5500 Email: head@cornerstonearchitects.com

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Field of Dreams, Phase 3

Cedar Bird Lane, Holmen, WI 54636

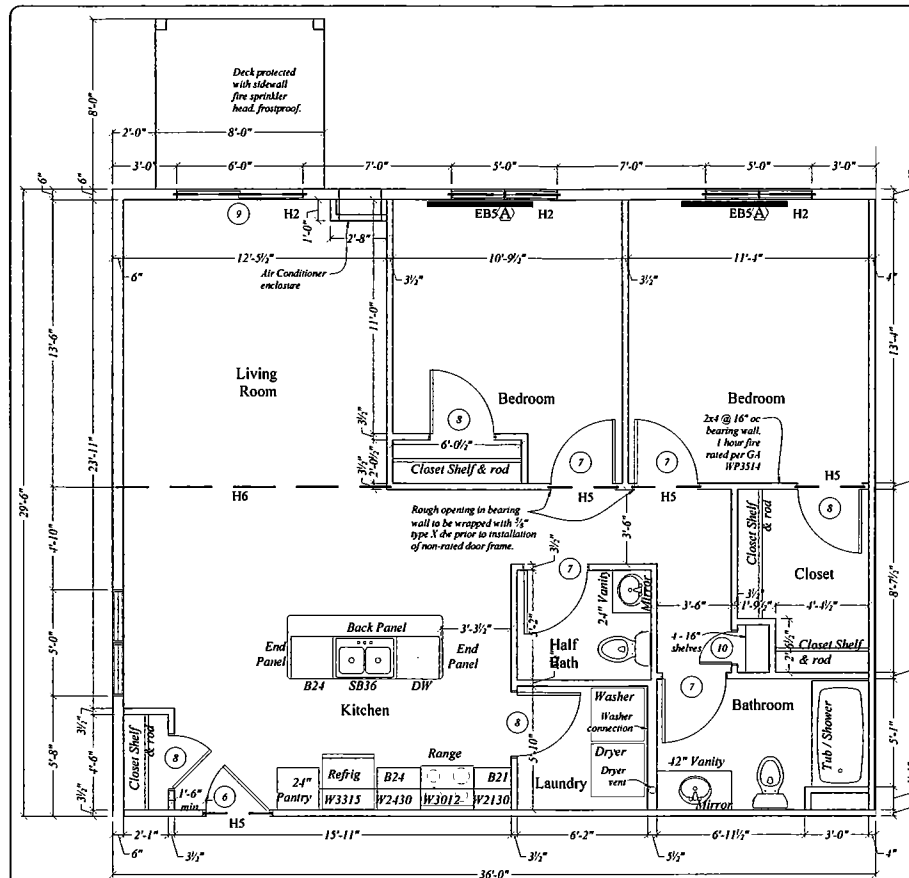
Project:

Sheet Description: Apartment Plans

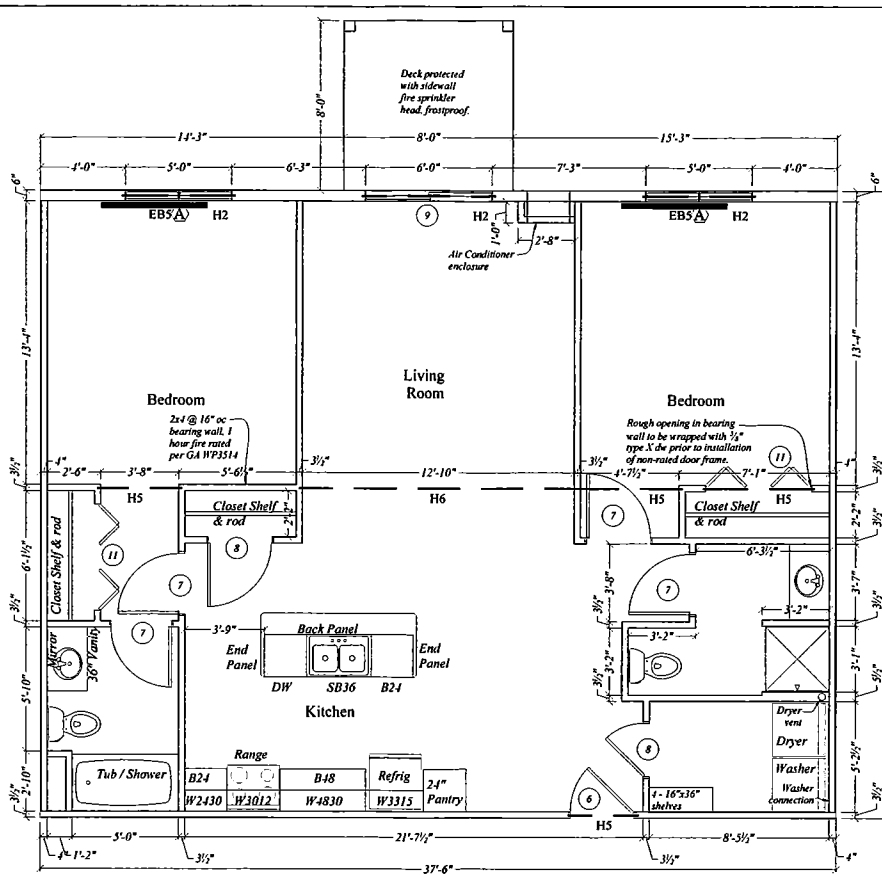
Sheet No.:

By:	chk:	Scale:	As Noted
Date: 2/20/19	File:		
Last Revision:	Revision Date:		

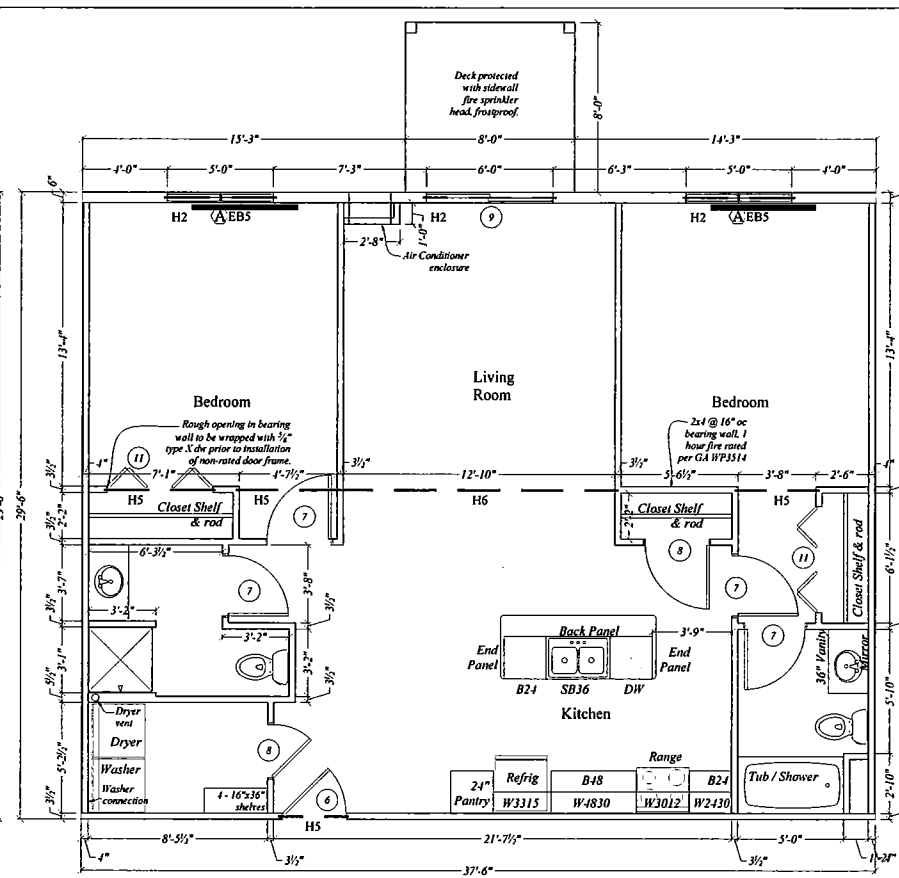
A5



Section "A" - Garage Entry
Scale: 1/4" = 1'-0"



Section "A" - Garage Entry
Scale: 1/4" = 1'-0"

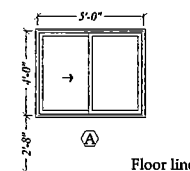


Section "A" - Garage Entry
Scale: 1/4" = 1'-0"

Wall type details

Window Schedule				
Window	Size	Window Type	Glazing	Remarks
A	3'-0" x 4'-0"	Vinyl Slide-By	Double, Low E, Insulated glazing and screens	Em. Egress, min. clear opening width of 20" & height of 24"

Window Notes: Color to be White
1. Interior of all windows to have drywall returns at jamb and head and cultured marble sills.
2. Bedroom windows to have Bali Essentials, white, vinyl, 1" horizontal mini-blinds installed between jambs.
3. Living Room windows to have Bali Essentials, white, vinyl, 2" vertical blinds installed outside of jamb, blinds to stick outside of window opening.



Floor line

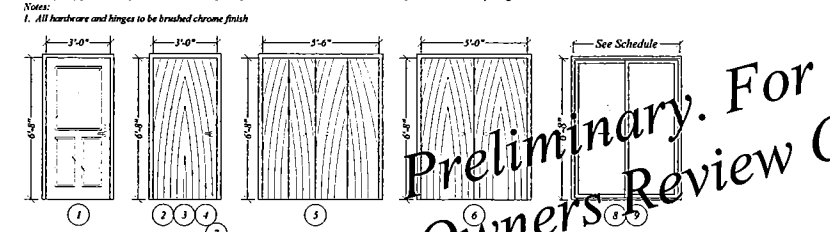
H1 HEADER SCHEDULE		
Designation	Description	Bearing Req'd
H1	2 ply 2x6, #2 SPF, insulated, box header min. Fb = 825 psi	1 ply shoulder stud, 1 1/2" min.
H2	2 ply 2x6, #2 SPF, insulated, box header min. Fb = 825 psi	1 ply shoulder stud, 1 1/2" min.
H3	2 ply 2x10, #2 SPF, insulated, box header min. Fb = 825 psi	1 ply shoulder stud, 1 1/2" min.
H4	2 ply 2x12, #2 SPF, header min. Fb = 825 psi	1 ply shoulder stud, 1 1/2" min.
H5	2 ply 9 1/4" x 8 E LVL, insulated, box header min. Fb = 2650 psi	1 ply shoulder stud, 1 1/2" min.
H6	2 ply 11 7/8" x 2 OE LVL, insulated, box header min. Fb = 2650 psi	2 ply shoulder stud, 3" min.
H7	3 ply 11 1/4" x 2 OE LVL, header, min. Fb = 2850 psi, nailed together with 10d nails @ 12" oc, staggered top & bottom	3 ply shoulder stud, 4 1/2" min.
H8	3 ply 11 1/4" x 2 OE LVL, header, min. Fb = 2850 psi, nailed together with 10d nails @ 12" oc, staggered top & bottom	4 ply shoulder stud, 6" min.
H9	1 ply 11 7/8" x 2 OE LVL, header min. Fb = 2650 psi	1 ply shoulder stud, 1 1/2" min.

Room Finish Schedule					
Room Name	Floor Finish	Base	Wall Finish	Ceiling Finish	Height
Living Room	Luxury Vinyl Plank	Oak wood	sgp. bd taped, orange peel & 2 coats paint	sgp. bd taped, orange peel & 2 coats paint	8'-0"
Kitchen	Luxury Vinyl Plank	Oak wood	sgp. bd taped, orange peel & 2 coats paint	sgp. bd taped, orange peel & 2 coats paint	8'-0"
Bathroom	Luxury Vinyl Plank	Oak wood	sgp. bd taped, orange peel & 2 coats paint	sgp. bd taped, orange peel & 2 coats paint	8'-0"
Bedrooms	Luxury Vinyl Plank	Oak wood	sgp. bd taped, orange peel & 2 coats paint	sgp. bd taped, orange peel & 2 coats paint	8'-0"

Closets shall have floor and wall finishes of the adjacent room

Door Schedule					
Door	Size	Door Description	Frame	Glazing	Hardware
1	3'-0" x 6'-8"	Single, Ins. core, Embossed 3 panel, ins. ul with half line & be threshold	Clad wood	DL Low E, safety with interior blinds	1 None
2	3'-0" x 6'-8"	Single, swing, flush, oak veneer, solid core, stained & varnished	Oak veneer	None	2 45 Min.
3	3'-0" x 6'-8"	Single, swing, flush, oak veneer, hollow core, stained & varnished	Oak wood	None	3 None
4	3'-0" x 6'-8"	Single, swing, flush, oak veneer, hollow core, stained & varnished	Oak wood	None	4 None
5	3'-0" x 6'-8"	Double, bi-fold, flush, oak veneer, hollow core, stained & varnished	Oak wood	None	5 None
6	3'-0" x 6'-8"	Double, slide-by, flush, oak veneer, hollow core, stained & varnished	Oak wood	None	6 None
7	3'-0" x 6'-8"	Single, pocket, flush, oak veneer, hollow core, stained & varnished	Oak wood	None	7 None
8	3'-0" x 6'-8"	Vinyl, sliding patio door	Vinyl	Double, Low E, Safety	- None
9	6'-0" x 7'-0"	Vinyl, sliding patio door	Vinyl	Double, Low E, Safety	- None

Hardware Groups
1. 1 1/2" per butt hinges, Passage latch set with lever handles, keyed deadbolt with inside turn latch (master keyed), wall bumper, handcap threshold & weatherscripting.
2. 1 1/2" per butt hinges, Passage latch set with lever handles, wall bumper, 45 min. fire rated.
3. 1 1/2" per butt hinges, Privacy lock set with lever handles & wall bumper.
4. 1 1/2" per butt hinges, Passage latch set with lever handles & wall bumper.
5. Bi-fold door hardware, track, stained wood or metal pull handles with stained and varnished oak wood trim to conceal track. Stained & varnished oak wood frame and casing opening.
6. Heavy duty sliding door track with stained and varnished oak wood trim to conceal track. Stained and varnished oak wood frame and casing opening.
7. Heavy duty pocket door frame and track with privacy latch. Stained and varnished oak wood frame and casing opening.



Preliminary. For Owners Review Only

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"Designing the Future"

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Tamara, Wisconsin 54660

Phone: 608-374-5300 Email: brad@cornerstonearchitects.com

Holmen Investments, LLC

Field of Dreams, Phase 3

Cedar Bird Lane, Holmen, WI 54636

Project:

Apartment Plans & Schedules

By: JH

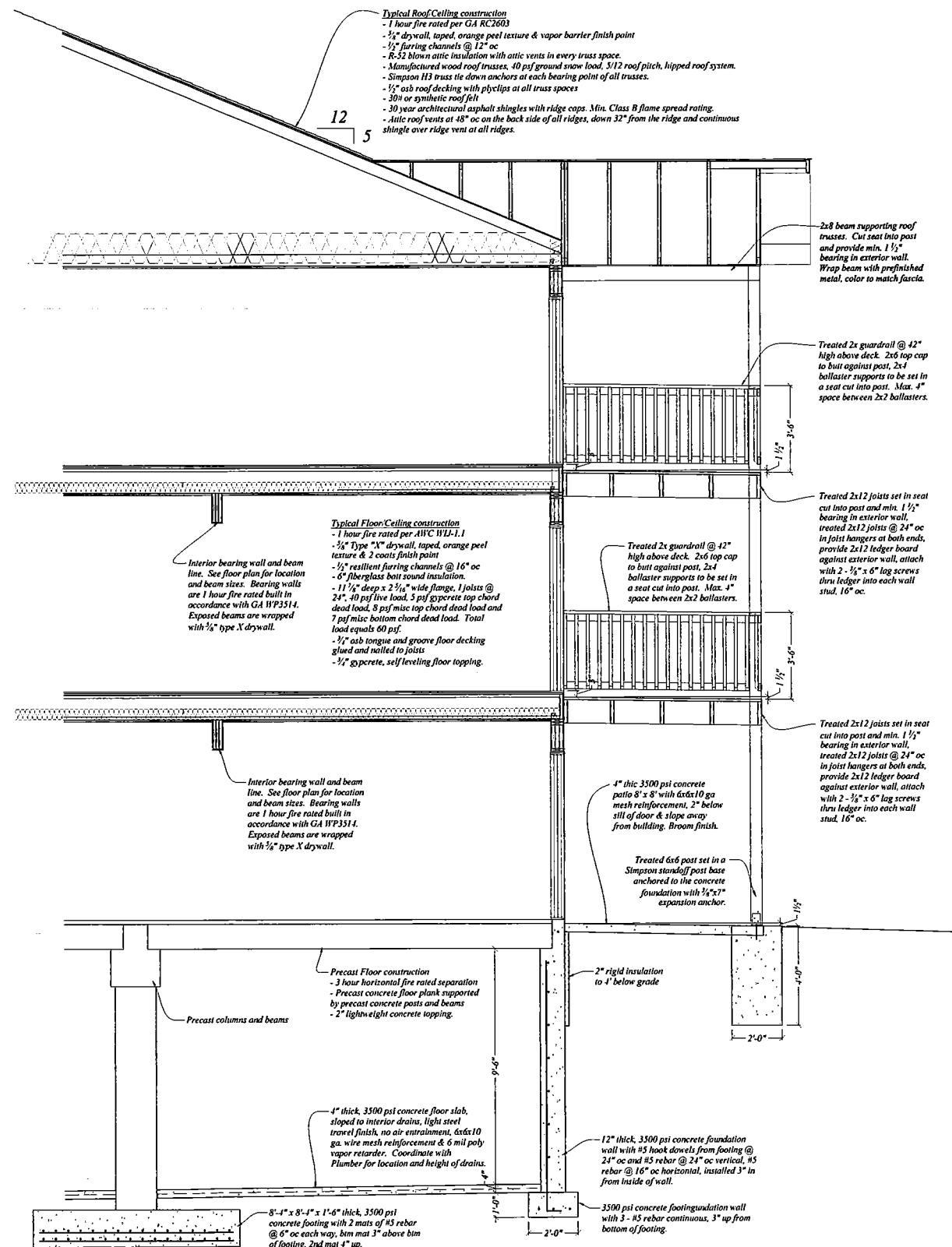
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Scale: As Noted

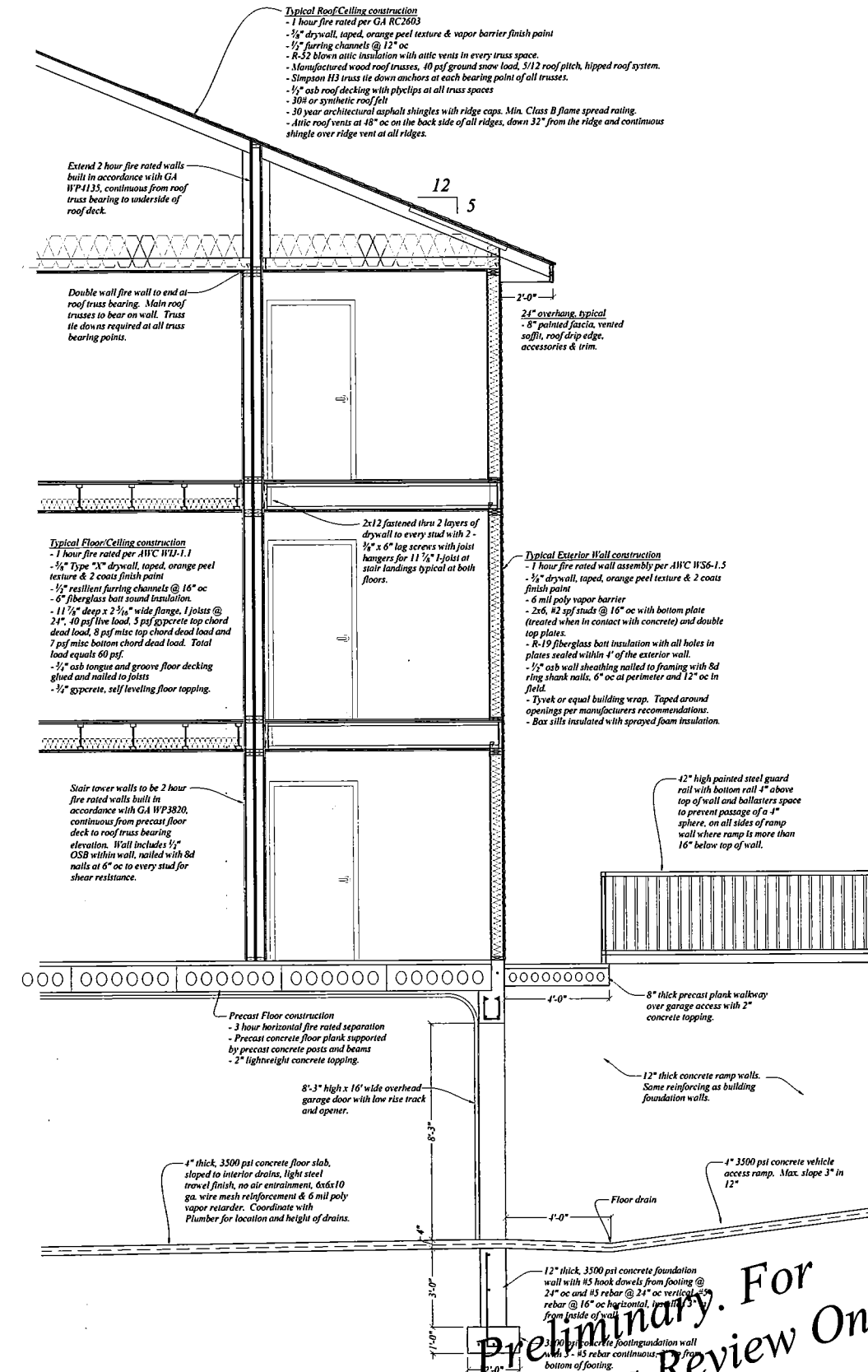
Revision: 01

Sheet No.

A6



Section "B" - Patio/Deck & Exterior Walls
Scale: 3/8" = 1'-0"



Section "A" - Garage Entry
Scale: 3/8" = 1'-0"

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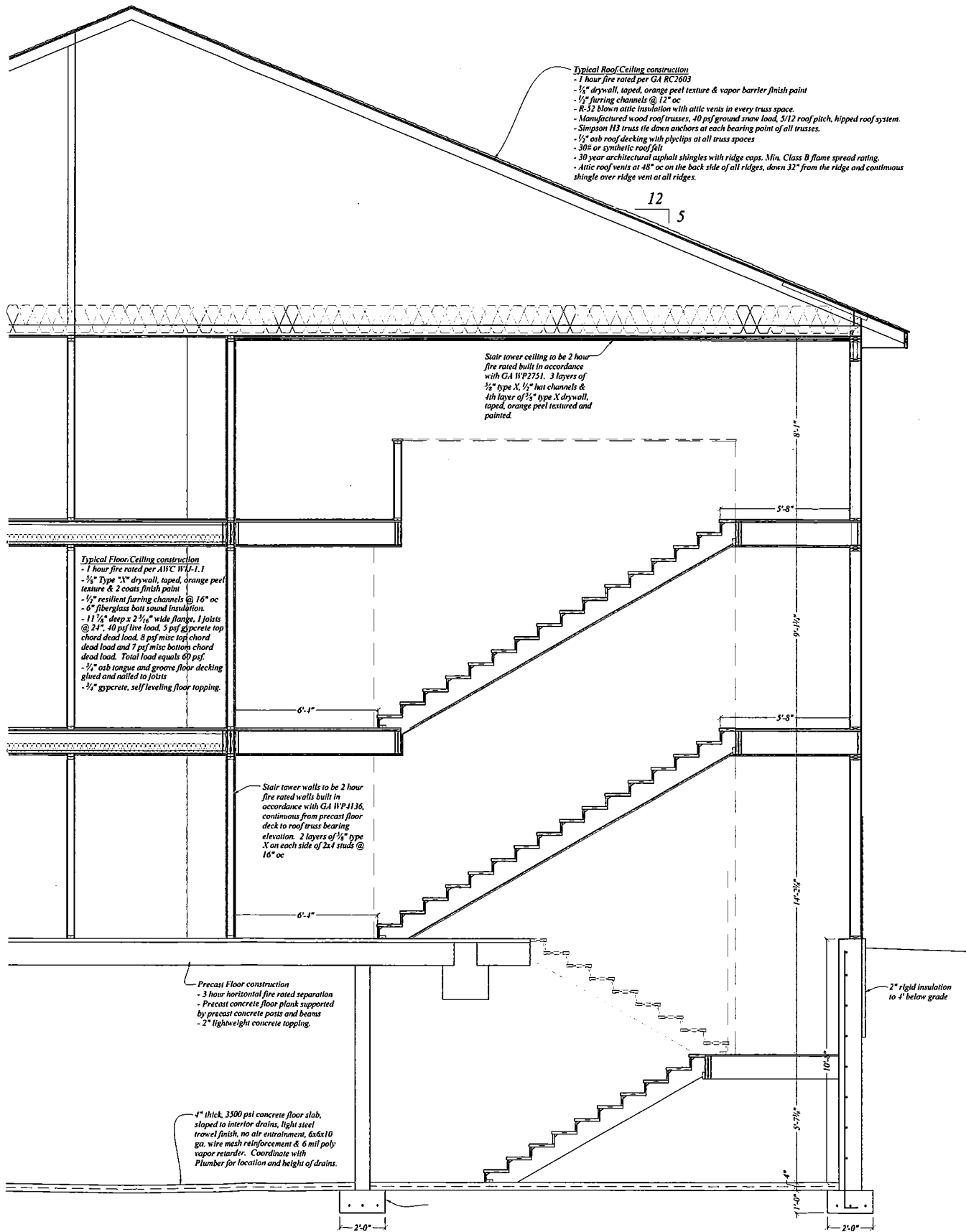
Holmen Investments, LLC
Field of Dreams, Phase 3

Cedar Bird Lane, Holmen, WI 54636

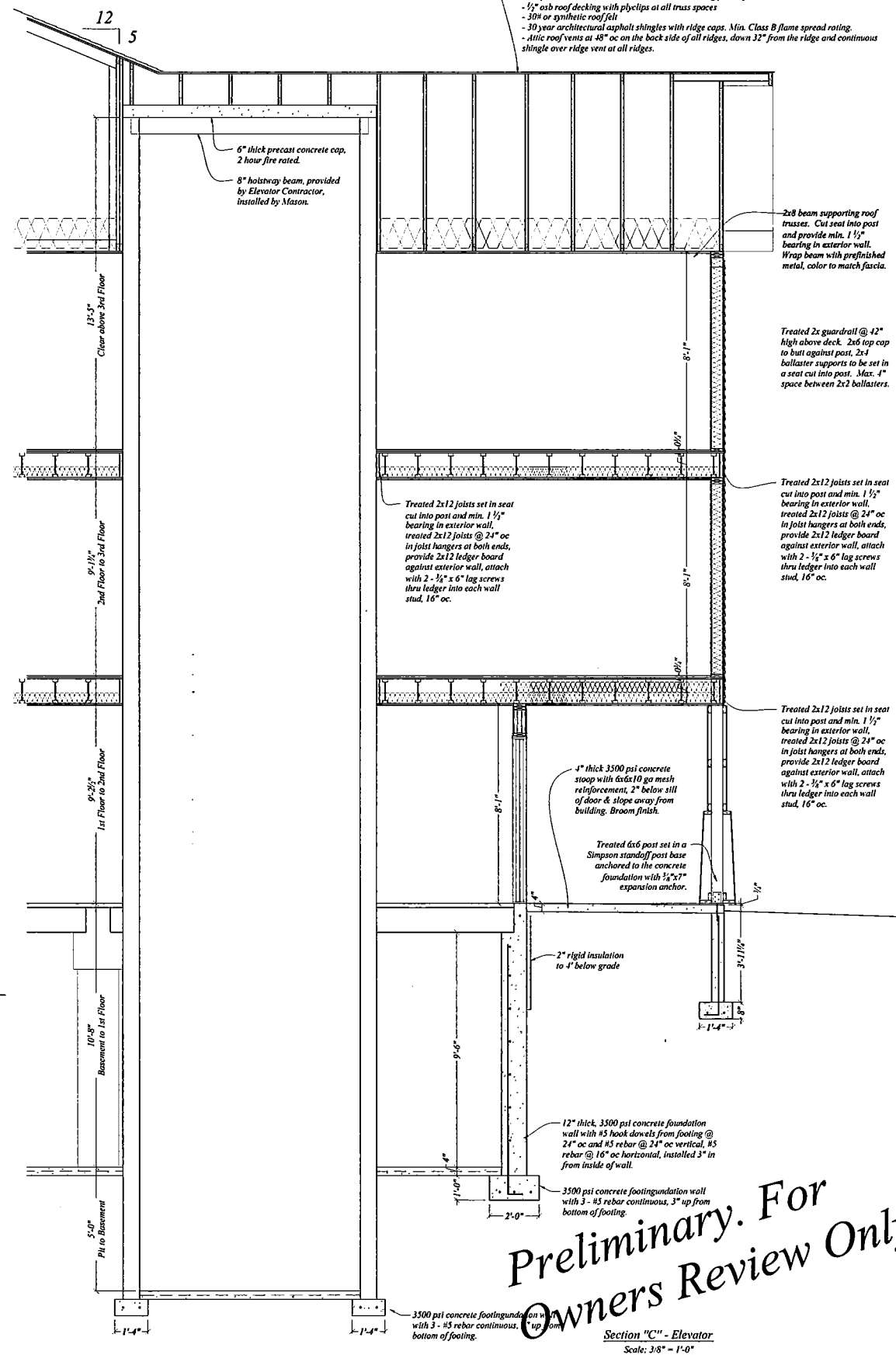
PO Box 289 201 W. Veterans Street
Tremont, Wisconsin 54660
Phone 608-774-5500 Email: kndorben@gmail.com

Sheet Description	Scale	Date	Revision
Building Sections	As Noted	2/20/19	
BY: JAW	Scale:	Date:	Revision:
DR: JAW	Scale:	Date:	Revision:
CHK: JAW	Scale:	Date:	Revision:
APP: JAW	Scale:	Date:	Revision:

Sheet No. **A7**



Section "D" - Stair Towers
 Scale: 3/8" = 1'-0"



Preliminary. For Owners Review Only

Section "C" - Elevator
 Scale: 3/8" = 1'-0"

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 Field of Dreams, Phase 3

Cedar Bird Lane, Holmen, WI 54636

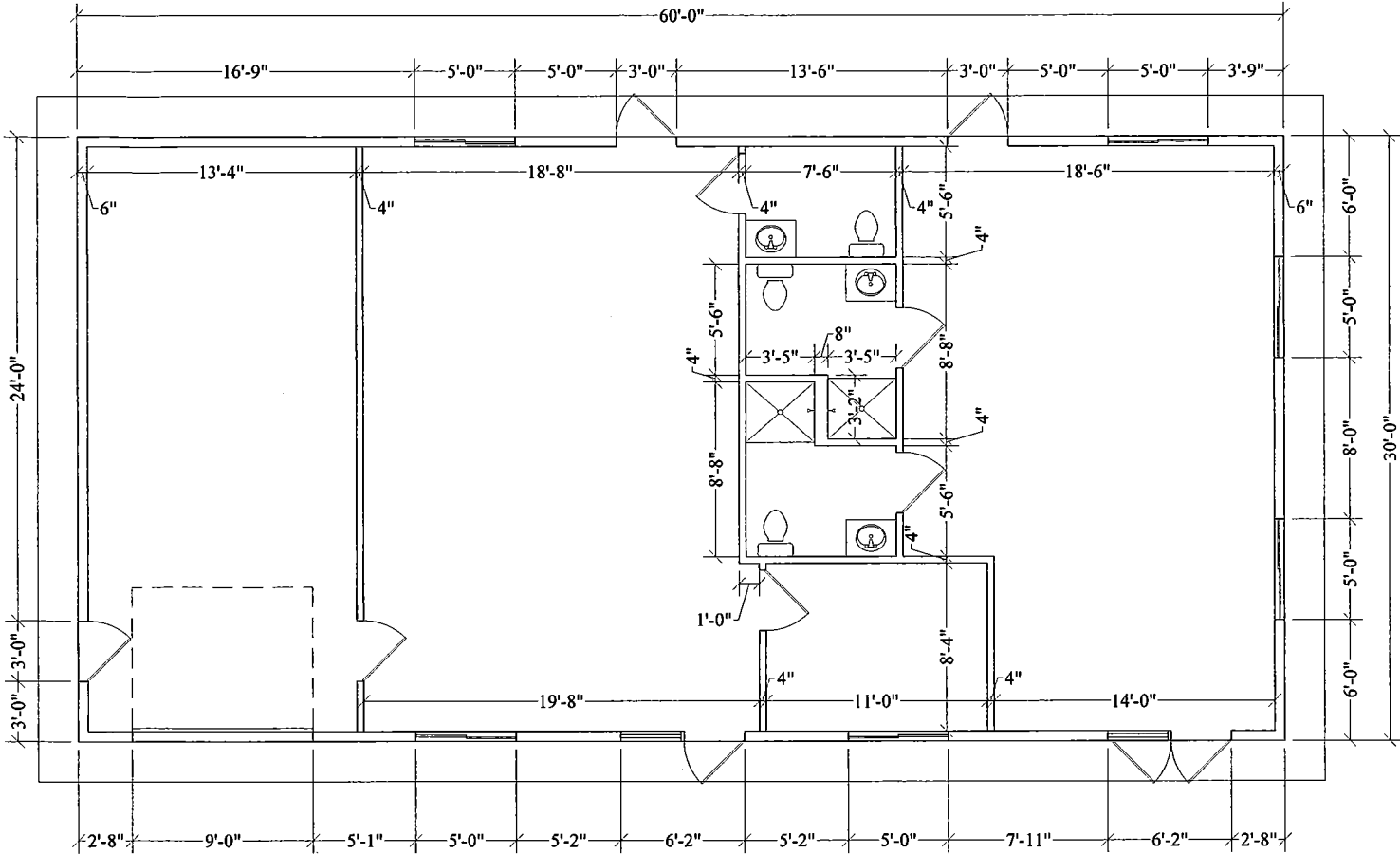
PO Box 288 201 W. Veterans Street
 Tomah, Wisconsin 54660

Phone: 608-374-3500 Email: brad@cornerstonearch.com

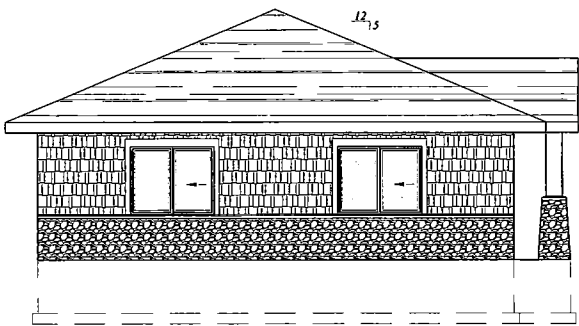
Sheet No.	Description	By	Date	Scale	As Noted	Revision	Date
1	Building Sections	BR	2/28/19	1/8" = 1'-0"			
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A8

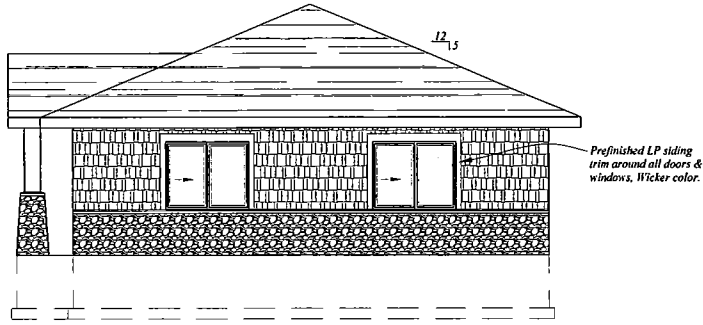
Comm. Bldg Section



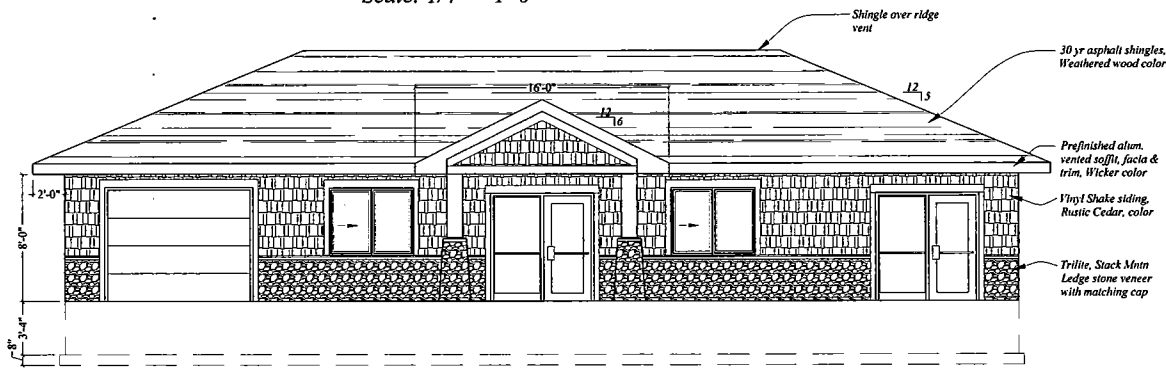
Community Building Floor Plan
Scale: 1/4" = 1'-0"



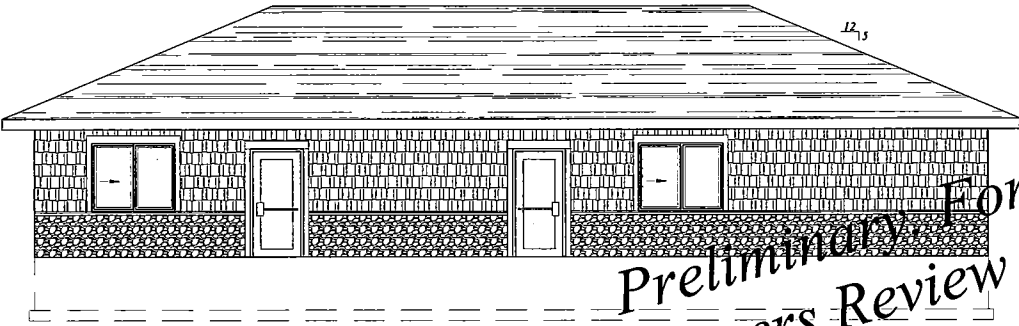
Community Building Left End Elevation
Scale: 3/16" = 1'-0"



Community Building Right End Elevation
Scale: 3/16" = 1'-0"



Community Building Front Elevation
Scale: 3/16" = 1'-0"



Community Building Front Elevation
Scale: 3/16" = 1'-0"

Preliminary For
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Cornerstone Architects, LLC
"Designing the Future"
PO Box 288 201 W. Veterans Street
Tosco, Wisconsin 54680
Phone 608-374-8800 Email: bdr@cornerstonearchitects.com

Holmen Investments, LLC
Field of Dreams, Phase 3
Cedar Bird Lane, Holmen, WI 54636

Project	Community Building Plan
By:	As Noted
Date:	File
Last Revision:	Revision Date
Sheet No.	A9









PLANT REQUEST

DATE NEEDED:

JOB NAME:

HOLDING AREA :

DESIGNER:

[illegible]

NOTES:



tumbled granite edger

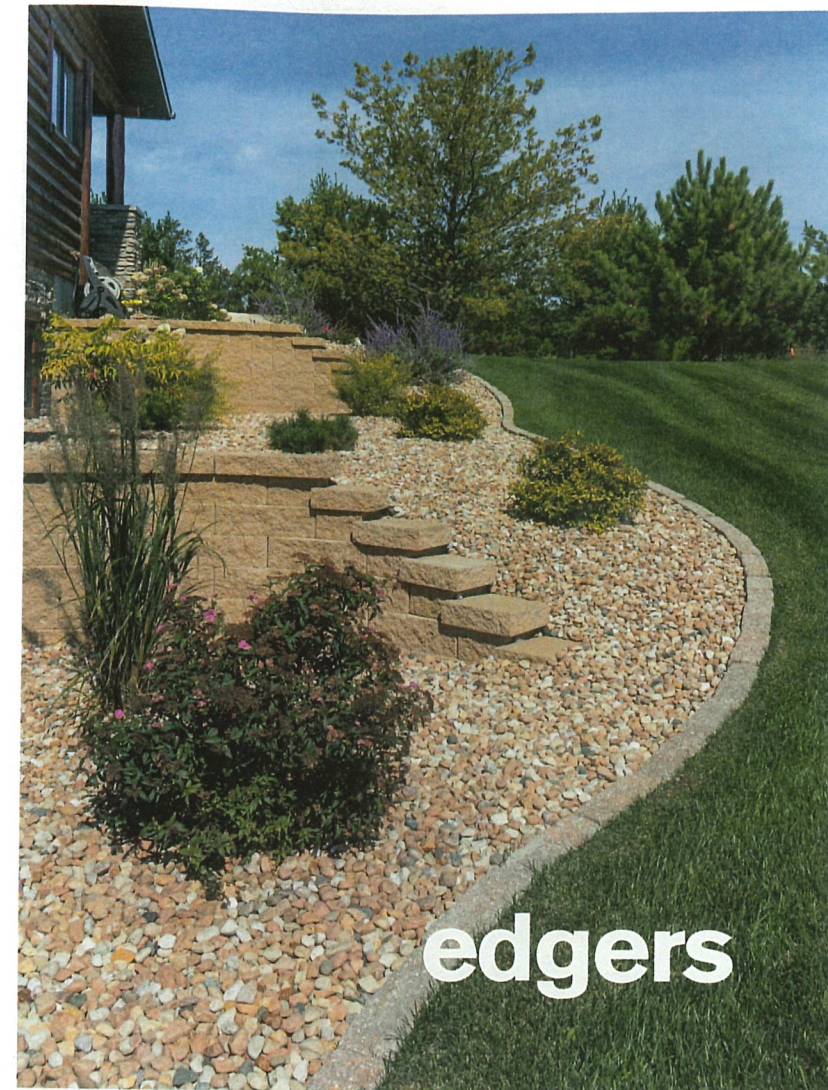
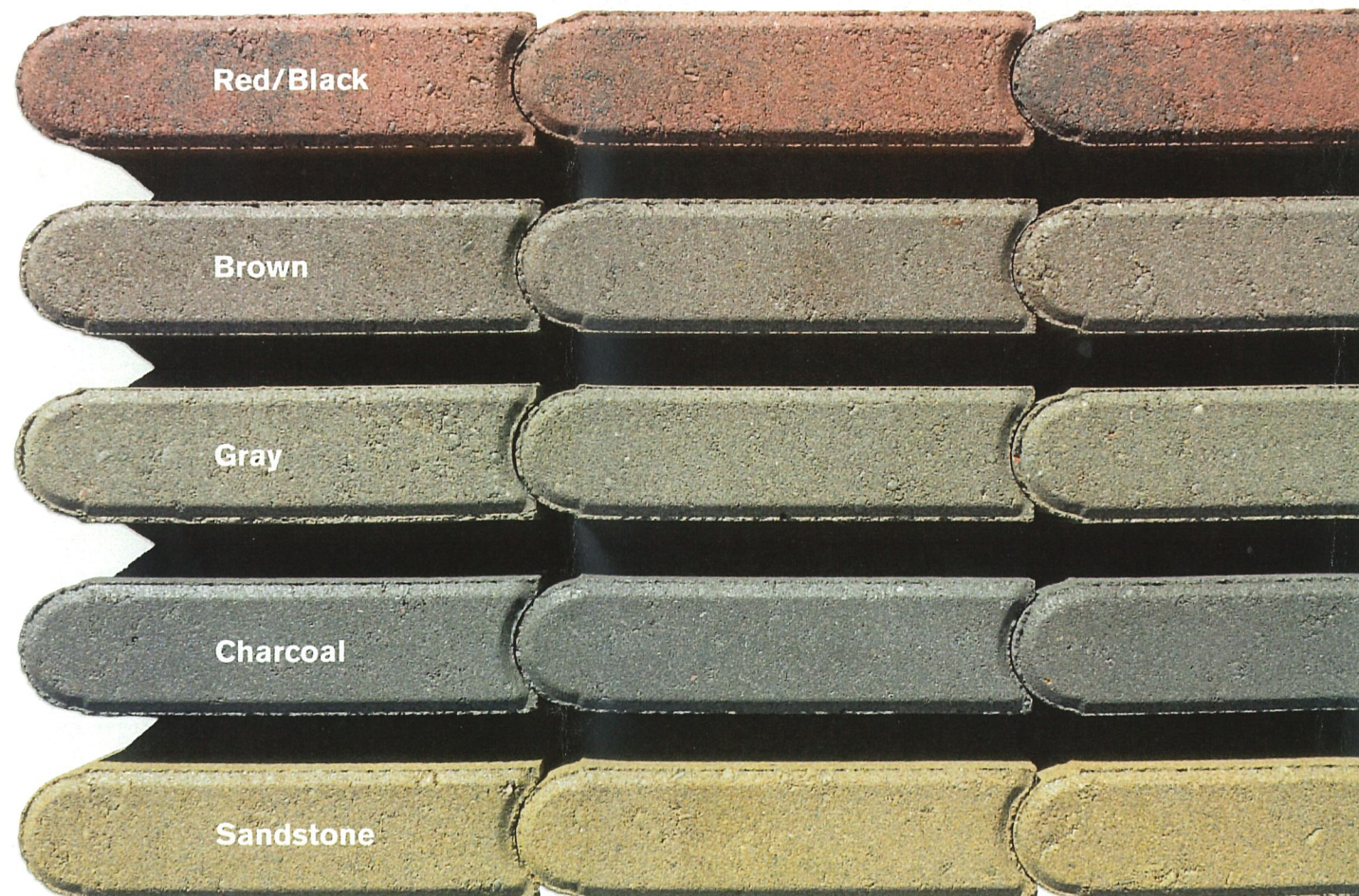
Smooth sides, split-face top, tumbled:
- 12" W x 4" D x 4" H

classic® edger

Smaller profile than typical edgers:
- 10" W x 2.75" D x 4" H

Unique T-lock design helps
Classic Edger prevent frost heave.

ROCKWOOD
RETAINING WALLS
A better way™



edgers

interlock

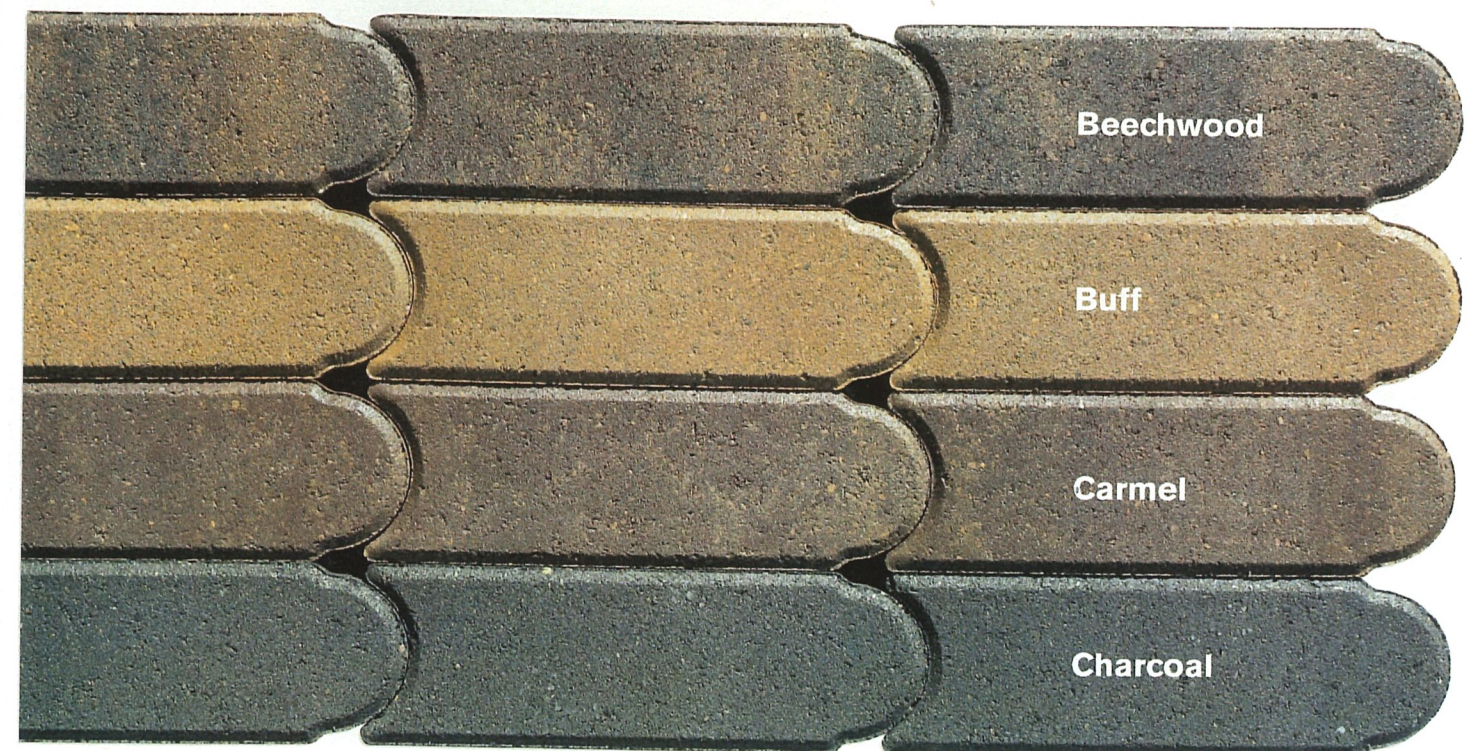


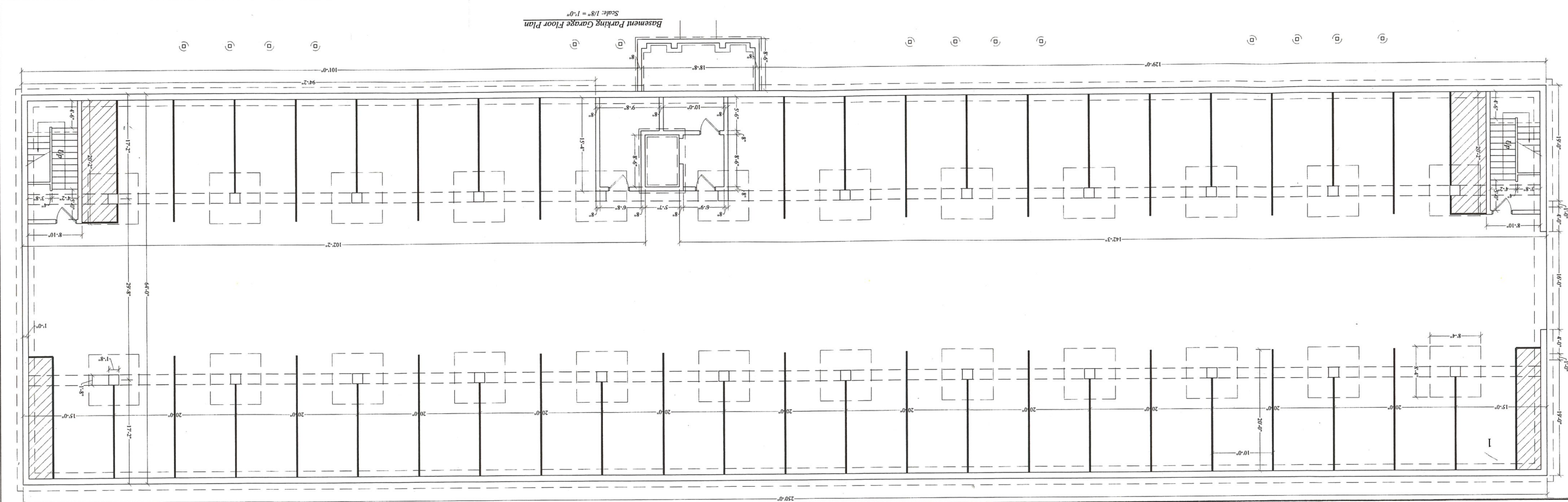
bullet edger

Layed end to end, yearly production of Interlock's
bullet edger would stretch over 70 miles in length.

One size (larger than typical edges):
- 12.25" W x 4" D x 4" H

edgers





Planning Commission

May 28, 2019

Name

1) Pat McKnight

Couler Courier

2) Tyler McCoy

3) Dean McHugh