

**Village of Holmen  
Planning Commission Minutes  
March 26, 2019**

Village President Proctor called the Planning Commission meeting to order at 6:30PM on Tuesday, March 26, 2019. Present were commission members Proctor, Kertis, Stanek, Rugroden, Anderson, Appold, and Grokowsky; along with advisory members Administrator Heinig and Engineer Chris Dahl. Also in attendance: Pat McKnight, Tim Holtan, Dean Sonsalla, Pat Barlow, and Dean McHugh.

**Public Hearings:**

None

**Approval of the February 26, 2019 Minutes:**

**Motion by Anderson, seconded by Stanek** to approve the minutes of the February 26, 2019 Meeting. Carried 7-0.

**Public comment:**

None

**Agenda Items:**

**Possible Action and Recommendation on Annexation Petition from Barry and Nancy Lee for 247.6 acres from the Town of Holland and Town of Onalaska.**

Administrator Heinig explained the boundaries of the annexations and the exceptions along the Right of Way of Keppel Road leaving open access to the residents along Keppel Road that are not included in this petition. He further explained that this petition has been reviewed by the Wisconsin Department of Administration and found to be in the public interest. It is also consistent with the Village comprehensive plan and with the Town of Holland and Town of Onalaska boundary agreements.

Member Rugroden asked about the traffic impacts at the intersection of Long Coulee Road and Main Street and if this needs to be looked at. Administrator Heinig responded that this wouldn't warrant an evaluation at his time, but will be evaluated as growth warrants. He also added that the property adjacent and eastward will eventually be annexed and will provide additional access points to residents.

**Motion by Stanek, seconded by Anderson** to recommend to the village board the approval of the annexation petition from Barry and Nancy Lee for 247.6 acres from the Town of Holland and Town of Onalaska. Carried 7-0.

**Possible Action on Petition for Site Plan & Architectural Review (SPAR) from Riverland Engery Coop proposed Outpost on Granary Street**

Administrator Heinig reviewed the details of the site plan submitted. He noted that the building is using prefabricated wall panels which is acceptable for an industrial area, but

would not be acceptable for a commercial area. The materials and color selection are appropriate and acceptable. The lighting plan was not included due its size and complexity, but was well done for this site. The landscaping plan also meets the SPAR requirements. The fencing details shown are incorrectly shown on the landscaping sheet exhibit. The fencing will be vinyl and completely enclose the cold storage building as is shown on the site plan sheets. The stormwater plan generally drains to the rear of the site into the site stormwater basins. He also noted that the west most driveway was in very close proximity to the storm inlet on Granary Street and that the driveway must not impact that inlets function.

Engineer Dahl noted an overflow pipe was connected from Stormwater pond 1 into the existing storm inlet located on Granary Street. Since the hydraulics on Granary Street have adequate capacity for the roadway only it was recommended that the pipe be removed and the overflow be directed to the back of the site.

Member Stanek asked what the fence height was, and for clarification for future considerations where prefabricated panel construction be acceptable. Administrator Heinig answered that the fence was going to be 6' high opaque vinyl fence as it must screen the cold storage building. He also said prefabricated panels are acceptable for an industrial area, but not in a commercial area.

Member Appold noted this is the first building in the industrial development and its approval would be the comparison for any upcoming buildings in the development.

**Motion by Appold, seconded by Anderson** to approve the site plan and architectural review from Riverland Energy proposed outpost on Granary Street. Finding that the purposes and guidelines of the SPAR Ordinance have been reasonably met, regarding the entire proposed site plan, all external building colors and materials, overall building layout and design, site and building lighting, site and building signage, and site landscaping; provided the fence encloses the cold storage building as noted, no impacts to the storm inlet on Granary Street, and the connection from the storm pond 1 to inlet be removed. Carried 7-0.

**Updates and other informational items from and before the Planning Commission:**

Members voiced approval for a very good site plan submitted by Riverland Energy. Administrator Heinig shared that next month will have a development, another annexation, and a rezoning petition for consideration.

**Adjourn:**

**Motion by Appold, seconded by Grokowsky** to adjourn at 6:56PM. Carried 7-0.

Minutes prepared by Chris Dahl, Village Engineer

RECEIVED  
2019  
at 11am

VILLAGE OF HOLMEN ANNEXATION PETITION

The undersigned, being all the electors and owners of all of the real property described below, do hereby petition the Village of Holmen for direct annexation of said described properties now located in the Town of Holand and Onalaska in La Crosse County, Wisconsin, to said Village of Holmen pursuant to Wisconsin Statutes, Sec. 66.0217(2) This land is contiguous to the Village of Holmen limits and is described as follows:

Description of property: See Both Descriptions of Both exhibit A and B

Total Acreage: 247.6 (118.25 + 129.35)

Tax Parcel No(s): 8-46-1, 8-45-0, 8-47-0, 10-116-0, 10-125-1, 10-117-1, 10-119-4, 8-45-2, 8-50-1017, 10-119-1

The proposed Village zoning on these parcels is: Ag

The current population of the territory affected by this petition is: 3

Dated this 11<sup>th</sup> day of Jan, 2019

State of Wisconsin}

}ss.

County of La Crosse}

Barry N Lee BARRY N LEE  
Owner name (Elector)

Nancy D. Lee Nancy D. Lee  
Owner name (Elector)

Personally came before me this 11<sup>th</sup> day of Jan 2019,  
to me

known to be the person(s) who executed the foregoing instrument and acknowledged the same.

Chonda D. Wesselberg  
Notary Public, State of Wisconsin  
My Commission Expires: 11/13/22

17047 County Road V  
Holmen, WI 54636  
Owner address

Dated this 11<sup>th</sup> day of January, 2019

State of Wisconsin}

}ss.

County of La Crosse}

Tyler Lee Tyler Lee  
Owner name (Elector)

Personally came before me this 11<sup>th</sup> day of January 2019,  
Tyler Lee to me

known to be the person(s) who executed the foregoing instrument and acknowledged the same.

[Signature]  
Notary Public, State of Wisconsin  
My Commission Expires: 5/3/22

Owner name

17053 County Road V  
Holmen, WI 54636  
Owner address

## EXHIBIT A

### ANNEXATION DESCRIPTION

LOT 1 OF THE CERTIFIED SURVEY MAP RECORDED IN VOLUME 16 OF LACROSSE COUNTY CERTIFIED SURVEY MAPS, PAGE 7, AS DOCUMENT NUMBER 1630547, AND LOT 1 OF THE CERTIFIED SURVEY MAP RECORDED IN VOLUME 16 OF LACROSSE COUNTY CERTIFIED SURVEY MAPS, PAGE 45, AS DOCUMENT NUMBER 1647076, AND PART OF THE NE1/4 OF THE SE1/4 OF SECTION 6, T17N, R7W, AND PART OF THE NW1/4 OF THE SE1/4 OF SECTION 6, T17N, R7W, TOWN OF HOLLAND, AND PART OF THE NW1/4 OF THE SW1/4, AND PART OF THE SW1/4 OF THE SW1/4 OF SECTION 5, T17N, R7W, TOWN OF ONALASKA, LACROSSE COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS: COMMENCING AT THE WEST QUARTER CORNER OF SECTION 5, T17N, R7W, AS THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE S89°21'02"E, 1316.78 FEET ALONG THE NORTH LINE OF THE NW1/4 OF THE SW1/4 OF SAID SECTION 5. TO THE NORTHEAST CORNER THEREOF; THENCE S01°08'32"W, 1379.15 FEET ALONG THE EAST LINE OF THE NW1/4 OF THE SW1/4, AND ALONG THE EAST LINE OF THE SW1/4 OF THE SW1/4 OF SECTION 5, T17N, R7W, TO THE NORTHEASTERLY RIGHT-OF-WAY LINE OF KEPPEL ROAD; THENCE NORTHWESTERLY ALONG SAID RIGHT-OF-WAY LINE, 7.39 FEET ALONG THE ARC OF A 93.00 FOOT RADIUS CURVE, CONCAVE TO THE SOUTHWEST, THE CHORD OF WHICH BEARS N58°48'15"W, AND MEASURES 7.38 FEET; THENCE N61°04'45"W, 100.36 FEET ALONG THE NORTHEASTERLY RIGHT-OF-WAY LINE OF KEPPEL ROAD, TO THE NORTH LINE OF THE SW1/4 OF THE SW1/4 OF SECTION 5, T17N, R7W; THENCE S89°38'21"W, 79.58 FEET ALONG THE NORTH LINE OF THE SW1/4 OF THE SW1/4 OF SECTION 5, T17N, R7W, TO A POINT ON THE CENTERLINE OF KEPPEL ROAD; THENCE NORTHWESTERLY ALONG THE CENTERLINE OF KEPPEL ROAD, 57.84 FEET ALONG THE ARC OF A 193.00 FOOT RADIUS CURVE, CONCAVE TO THE SOUTHWEST, THE CHORD OF WHICH BEARS N82°47'39"W, AND MEASURES 57.62 FEET; THENCE CONTINUING ALONG THE CENTERLINE OF KEPPEL ROAD, S88°37'15"W, 229.57 FEET; THENCE CONTINUING ALONG THE CENTERLINE OF KEPPEL ROAD, N89°36'45"W, 1111.79 FEET; THENCE CONTINUING NORTHWESTERLY ALONG THE CENTERLINE OF KEPPEL ROAD, 216.39 FEET ALONG THE ARC OF A 909.42 FOOT RADIUS CURVE, CONCAVE TO THE NORTHEAST, THE CHORD OF WHICH BEARS N82°47'45"W, AND MEASURES 215.88 FEET; THENCE N75°58'45"W, 124.09 FEET ALONG THE CENTERLINE OF KEPPEL ROAD, AND THE NORTHWESTERLY EXTENSION THEREOF, TO THE CENTERLINE OF COUNTY ROAD V; THENCE SOUTHWESTERLY ALONG THE CENTERLINE OF COUNTY ROAD V, 68.80 FEET ALONG THE ARC OF A 1910.10 FOOT RADIUS CURVE, CONCAVE TO THE NORTHWEST, THE CHORD OF WHICH BEARS S14°13'27"W, AND MEASURES 68.80 FEET, TO THE SOUTH LINE OF THE NE1/4 OF THE SE1/4 OF SECTION 6, T17N, R7W; THENCE S89°17'35"W, 2041.16 FEET ALONG THE SOUTH LINE OF THE NE1/4 OF THE SE1/4, AND ALONG THE SOUTH LINE OF THE NW1/4 OF THE SE1/4 OF SECTION 6, T17N, R7W, TO THE SOUTHWEST CORNER OF THE NW1/4 OF THE SE1/4 OF SAID SECTION 6; THENCE N01°26'48"E, 943.51 FEET ALONG THE WEST LINE OF THE NW1/4 OF THE SE1/4 OF SAID SECTION 6; THENCE N15°21'20"E, 385.85 FEET ALONG THE SOUTHEASTERLY LINE OF A PARCEL OF LAND DESCRIBED IN DOCUMENT NUMBER 1660180, AS THE PARCEL EXCEPTED FROM PARCEL 2, TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF GLOMSTAD ROAD; THENCE N89°24'23"E, 1825.74 FEET ALONG THE SOUTH RIGHT-OF-WAY LINE OF GLOMSTAD ROAD, TO THE NORTHWEST CORNER OF LOT 1 OF THE CERTIFIED SURVEY MAP RECORDED IN VOLUME 5 OF LACROSSE COUNTY CERTIFIED SURVEY MAPS, PAGE 28, AS DOCUMENT NUMBER 1055285; THENCE S00°35'37"E, 150.00 FEET ALONG THE WEST LINE OF LOT 1 OF THE CERTIFIED SURVEY MAP RECORDED IN VOLUME 5, PAGE 28, TO THE SOUTHWEST CORNER THEREOF; THENCE N89°24'23"E, 404.12 FEET ALONG THE SOUTH LINE OF LOT 1 OF THE CERTIFIED SURVEY MAP RECORDED IN VOLUME 5, PAGE 28, AND ALONG THE EASTERLY EXTENSION OF SAID SOUTH LINE, TO THE EASTERLY RIGHT-OF-WAY LINE OF COUNTY ROAD V; THENCE N05°56'07"W, 175.51 FEET ALONG THE EASTERLY RIGHT-OF-WAY LINE OF COUNTY ROAD V, TO THE NORTH LINE OF THE NE1/4 OF THE SE1/4 OF SECTION 6, T17N, R7W; THENCE N89°24'23"E, 661.33 FEET ALONG THE NORTH LINE OF THE NE1/4 OF THE SE1/4 OF SECTION 6, T17N, R7W, TO THE NORTHEAST CORNER THEREOF, ALSO BEING THE WEST QUARTER CORNER OF SECTION 5, T17N, R7W, AND THE POINT OF BEGINNING OF THIS DESCRIPTION.

CONTAINING 118.25 ACRES.

DRAFTED BY: RICHARD A. BERG, PLS #1213

*Richard A Berg 2-10-2019*

## EXHIBIT B

### ANNEXATION DESCRIPTION

PART OF THE SW1/4 OF THE SW1/4, AND PART OF THE SE1/4 OF THE SW1/4, AND PART OF THE SW1/4 OF THE SE1/4 OF SECTION 5, T17N, R7W, AND PART OF THE NW1/4 OF THE NW1/4, AND PART OF THE NE1/4 OF THE NW1/4, AND PART OF THE NW1/4 OF THE NE1/4, AND PART OF THE SE1/4 OF THE NW1/4 OF SECTION 8, T17N, R7W, TOWN OF ONALASKA, LACROSSE COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF SECTION 8, T17N, R7W; THENCE N88°59'05"W, 1313.64 FEET, TO THE NORTHEAST CORNER OF THE NW1/4 OF THE NE1/4 OF SECTION 8, T17N, R7W, AND THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE S01°00'29"W, 864.71 FEET ALONG THE EAST LINE OF THE NW1/4 OF THE NE1/4 OF SAID SECTION 8, TO A MEANDER POINT LYING N01°00'29"E, 35 FEET MORE OR LESS FROM THE CENTERLINE OF HALFWAY CREEK; THENCE WESTERLY ALONG A MEANDER LINE ALONG THE NORTHERLY SIDE OF HALFWAY CREEK, THE FOLLOWING (10) COURSES; N61°45'43"W, 319.13 FEET; THENCE S75°34'14"W, 260.20 FEET; THENCE S81°37'39"W, 282.91 FEET; THENCE S52°39'52"W, 194.47 FEET; THENCE N73°14'52"W, 467.92 FEET; THENCE S30°00'33"W, 273.05 FEET; THENCE S77°40'29"W, 430.90 FEET; THENCE S72°13'56"W, 214.51 FEET; THENCE N38°38'14"W, 223.23 FEET; THENCE S88°42'15"W, 474.14 FEET, TO A MEANDER POINT LYING 43 FEET MORE OR LESS NORTHWESTERLY OF THE CENTERLINE OF HALFWAY CREEK, AND 43 FEET MORE OR LESS NORTHEASTERLY OF THE CENTERLINE OF LONG COULEE CREEK; THENCE NORTHERLY ALONG A MEANDER LINE ALONG THE EASTERLY SIDE OF LONG COULEE CREEK, THE FOLLOWING (10) COURSES; N12°11'24"W, 403.55 FEET; THENCE N07°32'22"E, 193.54 FEET; THENCE N31°47'28"W, 207.80 FEET; THENCE N58°50'11"W, 382.46 FEET; THENCE N00°18'08"W, 271.00 FEET; THENCE N11°29'36"W, 347.49 FEET; THENCE N64°08'18"E, 540.77 FEET; THENCE N07°56'36"W, 213.23 FEET; THENCE N64°13'15"E, 251.67 FEET; THENCE N02°04'35"W, 220.10 FEET, TO A MEANDER POINT LYING S61°04'45"E, 32 FEET MORE OR LESS, FROM THE CENTERLINE OF LONG COULEE CREEK, SAID MEANDER POINT BEING IN THE CENTERLINE OF KEPPEL ROAD; THENCE S61°04'45"E, 84.00 FEET ALONG THE CENTERLINE OF KEPPEL ROAD; THENCE SOUTHEASTERLY ALONG THE CENTERLINE OF KEPPEL ROAD, 49.39 FEET ALONG THE ARC OF A 60.00 FOOT RADIUS CURVE, CONCAVE TO THE SOUTHWEST, THE CHORD OF WHICH BEARS S37°29'50"E, AND MEASURES 48.01 FEET; THENCE S13°54'55"E, 91.05 FEET ALONG THE CENTERLINE OF KEPPEL ROAD; THENCE S76°05'05"W, 33.00 FEET, TO THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF KEPPEL ROAD, ALSO BEING A POINT ON THE EAST LINE OF THE SW1/4 OF THE SW1/4 OF SECTION 5, T17N, R7W; THENCE S01°08'32"W, 391.15 FEET ALONG THE EAST LINE OF THE SW1/4 OF THE SW1/4 OF SAID SECTION 5, TO THE NORTHWEST CORNER OF A PARCEL OF LAND DESCRIBED IN DOCUMENT NUMBER 1660180 OF LACROSSE COUNTY RECORDS, AS PARCEL NUMBER 5; THENCE S71°20'14"E, 104.86 FEET ALONG THE NORTHERLY LINE OF THE PARCEL DESCRIBED IN DOCUMENT NUMBER 1660180, AS PARCEL NUMBER 5; THENCE S87°57'29"E, 580.57 FEET ALONG THE NORTH LINE OF THE PARCEL DESCRIBED IN DOCUMENT NUMBER 1660180, AS PARCEL NUMBER 5; THENCE S89°58'39"E, 1949.79 FEET ALONG THE NORTH LINE OF THE PARCEL DESCRIBED IN DOCUMENT NUMBER 1660180, AS PARCEL NUMBER 5, TO THE EAST LINE OF THE SW1/4 OF THE SE1/4 OF SECTION 5, T17N, R7W; THENCE S01°22'02"W, 695.00 FEET ALONG THE EAST LINE OF THE SW1/4 OF THE SE1/4 OF SAID SECTION 5, TO THE POINT OF BEGINNING OF THIS DESCRIPTION.

INCLUDING THAT LAND LYING BETWEEN THE MEANDER LINE AND THE CENTERLINE OF HALFWAY CREEK, AND THAT LAND LYING BETWEEN THE MEANDER LINE AND THE CENTERLINE OF LONG COULEE CREEK.

CONTAINING 129.35 ACRES MORE OR LESS TO THE CENTERLINES OF LONG COULEE CREEK AND HALFWAY CREEK.

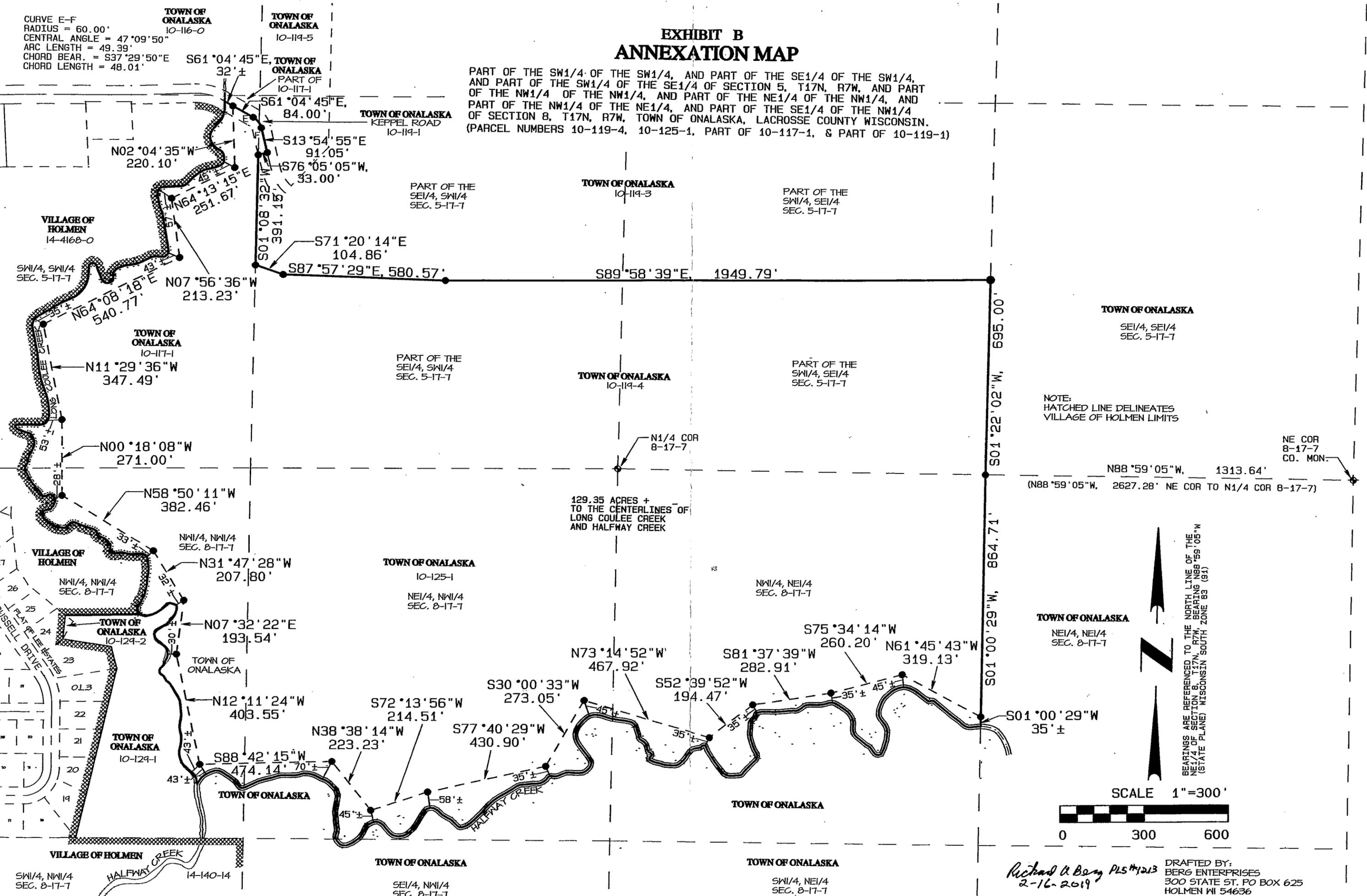
DRAFTED BY: RICHARD A. BERG, PLS #1213

*Richard A Berg 2-16-2019*

CURVE E-F  
 RADIUS = 60.00'  
 CENTRAL ANGLE = 47°09'50"  
 ARC LENGTH = 49.39'  
 CHORD BEAR. = S37°29'50"E  
 CHORD LENGTH = 48.01'

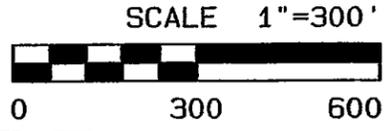
# EXHIBIT B ANNEXATION MAP

PART OF THE SW1/4 OF THE SW1/4, AND PART OF THE SE1/4 OF THE SW1/4, AND PART OF THE SW1/4 OF THE SE1/4 OF SECTION 5, T17N, R7W, AND PART OF THE NW1/4 OF THE NW1/4, AND PART OF THE NE1/4 OF THE NW1/4, AND PART OF THE NW1/4 OF THE NE1/4, AND PART OF THE SE1/4 OF THE NW1/4 OF SECTION 8, T17N, R7W, TOWN OF ONALASKA, LACROSSE COUNTY WISCONSIN. (PARCEL NUMBERS 10-119-4, 10-125-1, PART OF 10-117-1, & PART OF 10-119-1)



NOTE:  
 HATCHED LINE DELINEATES  
 VILLAGE OF HOLMEN LIMITS

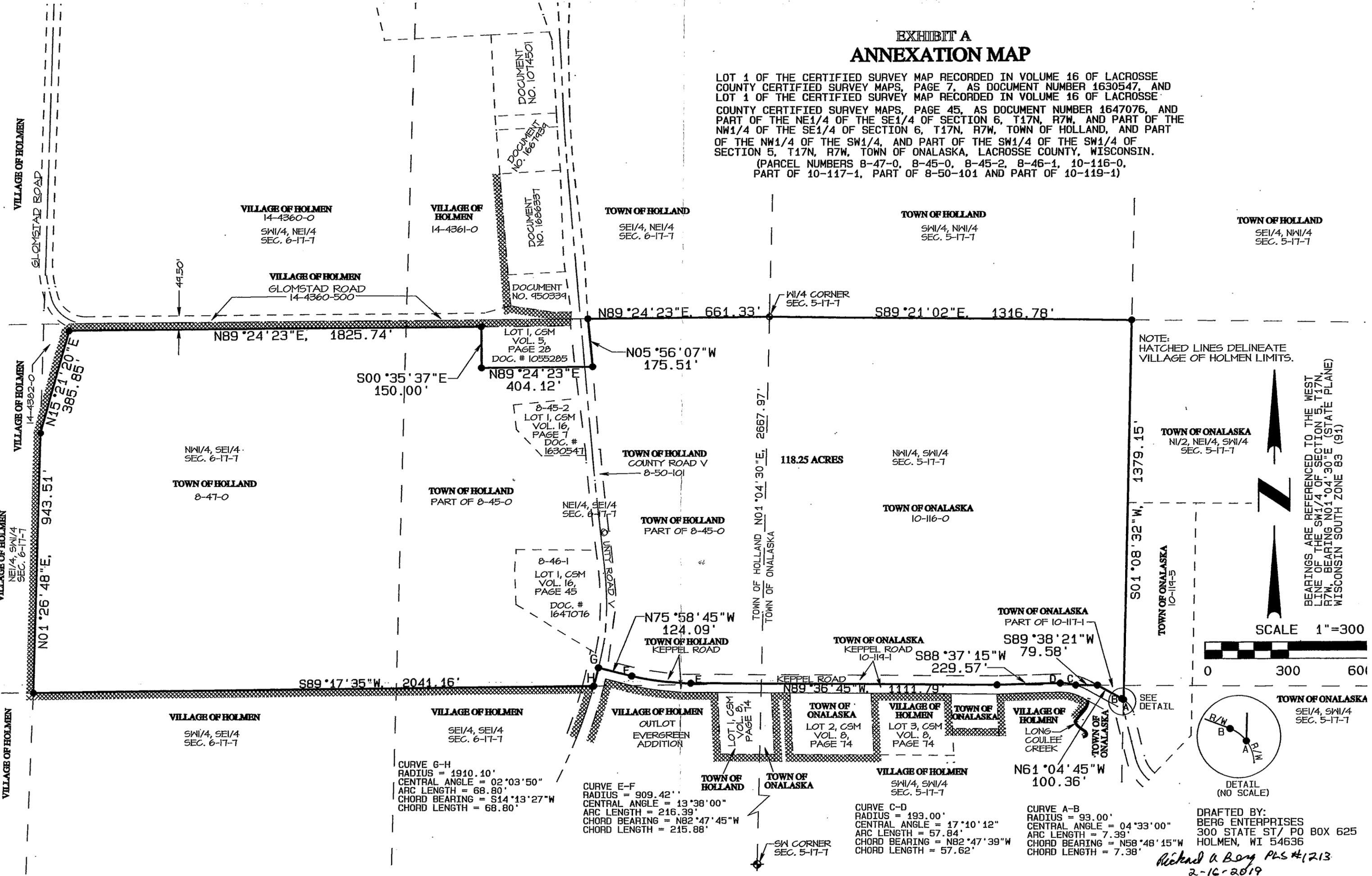
BEARINGS ARE REFERENCED TO THE NORTH LINE OF THE NE1/4 OF SECTION 8, T17N, R7W, BEARING N88°59'05"W (STATE PLANE) WISCONSIN SOUTH ZONE 83 (S1)



*Richard A. Berg PLS #1213*  
 2-16-2019  
 DRAFTED BY:  
 BERG ENTERPRISES  
 300 STATE ST. PO BOX 625  
 HOLMEN WI 54636

# EXHIBIT A ANNEXATION MAP

LOT 1 OF THE CERTIFIED SURVEY MAP RECORDED IN VOLUME 16 OF LACROSSE COUNTY CERTIFIED SURVEY MAPS, PAGE 7, AS DOCUMENT NUMBER 1630547, AND LOT 1 OF THE CERTIFIED SURVEY MAP RECORDED IN VOLUME 16 OF LACROSSE COUNTY CERTIFIED SURVEY MAPS, PAGE 45, AS DOCUMENT NUMBER 1647076, AND PART OF THE NE1/4 OF THE SE1/4 OF SECTION 6, T17N, R7W, AND PART OF THE NW1/4 OF THE SE1/4 OF SECTION 6, T17N, R7W, TOWN OF HOLLAND, AND PART OF THE NW1/4 OF THE SW1/4, AND PART OF THE SW1/4 OF THE SW1/4 OF SECTION 5, T17N, R7W, TOWN OF ONALASKA, LACROSSE COUNTY, WISCONSIN.  
(PARCEL NUMBERS 8-47-0, 8-45-0, 8-45-2, 8-46-1, 10-116-0, PART OF 10-117-1, PART OF 8-50-101 AND PART OF 10-119-1)



CURVE G-H  
RADIUS = 1910.10'  
CENTRAL ANGLE = 02°03'50"  
ARC LENGTH = 68.80'  
CHORD BEARING = S14°13'27"W  
CHORD LENGTH = 68.80'

CURVE E-F  
RADIUS = 909.42'  
CENTRAL ANGLE = 13°38'00"  
ARC LENGTH = 216.39'  
CHORD BEARING = N82°47'45"W  
CHORD LENGTH = 215.88'

CURVE C-D  
RADIUS = 193.00'  
CENTRAL ANGLE = 17°10'12"  
ARC LENGTH = 57.84'  
CHORD BEARING = N82°47'39"W  
CHORD LENGTH = 57.62'

CURVE A-B  
RADIUS = 93.00'  
CENTRAL ANGLE = 04°33'00"  
ARC LENGTH = 7.39'  
CHORD BEARING = N58°48'15"W  
CHORD LENGTH = 7.38'



# RIVERLAND ENERGY COOP PROPOSED OUTPOST HOLMEN, WI



RIVER VALLEY ARCHITECTS  
3300 Birch Street, Suite 1A EAU CLAIRE, WI 54703

## GENERAL NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS INCLUDING LOCATIONS OF EXISTING UTILITIES AND EASEMENTS.
- ALL WORK SHALL BE IN COMPLIANCE WITH LOCAL, STATE AND NATIONAL CODES FOR RESPECTIVE TRADES.
- DO NOT SCALE DRAWINGS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS.
- DRAWINGS AND SPECIFICATIONS ARE TO BE CONSIDERED AS SUPPLEMENTING EACH OTHER. WORK SPECIFIED, BUT NOT SHOWN, OR SHOWN, BUT NOT SPECIFIED SHALL BE PERFORMED AS THOUGH MENTIONED IN BOTH SPECIFICATIONS AND DRAWINGS.
- THERE IS SOME OVERLAP BETWEEN ARCHITECTURAL AND STRUCTURAL PLANS. REVIEW COMPLETE PLSN FOR ARCHITECTURAL/STRUCTURAL WORK.

## PROJECT DIRECTORY

<b>OWNER:</b> RIVERLAND ENERGY COOPERATIVE N28988 STATE ROAD 93 ARCADIA, WI 54612 608.323.3381	<b>HVAC DESIGN:</b> APEX ENGINEERING 110 E. GRAND AVE A EAU CLAIRE, WI 54701 PHONE: 715.835.7736
<b>ARCHITECT:</b> RIVER VALLEY ARCHITECTS, INC. 3300 BIRCH STREET, SUITE 1A EAU CLAIRE, WI 54703 PHONE: 715.832.0875	<b>ELECTRICAL DESIGN:</b> PRISM DESIGN 21 S. BARSTOW ST. EAU CLAIRE, WI 54701 PHONE: 715.514.5235
<b>CIVIL DESIGN:</b> ADVANCED ENGINEERING CONCEPTS 1360 INTERNATIONAL DR. EAU CLAIRE, WI 54701 PHONE: 715.514.4116	<b>INTERIOR DESIGN:</b> LZ DESIGNS 2219 LAKESHORE DRIVE RICE LAKE, WI 54868 PHONE: 715.651.7778
<b>STRUCTURAL DESIGN:</b> ERA 3410 OAKWOOD MALL DR SUITE 300 EAU CLAIRE, WI 54701 PHONE: 651.251.7570	<b>GENERAL CONTRACTOR:</b> MARKET & JOHNSON INC. 1652 LAKESHORE DRIVE LACROSSE, WI 54602 608.784.5000
<b>PLUMBING DESIGN:</b> APEX ENGINEERING 110 E. GRAND AVE A EAU CLAIRE, WI 54701 PHONE: 715.835.7736	

## LOCATION MAP



**PROJECT LOCATION:**  
GRANARY STREET AND SCHALLER BLVD.  
HOLMEN, WI 54636



## SHEET INDEX

<b>GENERAL</b>	
A0	TITLE SHEET, LOCATION MAP
C100	TITLE SHEET-CIVIL
C200	EXISTING CONDITIONS/DEMOLITION PLAN
C300	SITE PLAN
C400	UTILITY PLAN
C500	GRADING PLAN
C600	EROSION CONTROL PLAN
C700	DETAILS
C701	DETAILS
LS1.1	OVERALL LANDSCAPE PLAN
LS1.2	ENLARGED LANDSCAPE PLAN
A1	OVERALL FLOOR PLAN
A2	EXTERIOR ELEVATIONS - MAIN BUILDING
A3	RENDER - MAIN BUILDING
A4	RENDER - MAIN BUILDING
A5	ACCESSORY BUILDING
E1.0	SITE LIGHTING PLAN

RIVERLAND ENERGY COOP  
PROPOSED OUTPOST  
HOLMEN, WI

MARK	DATE	DESCRIPTION

DRAWN BY: CMB  
PM: LP  
JOB NO: 18-121  
DATE: 03.11.2019

TITLE SHEET,  
LOCATION MAP AND  
DRAWING  
CONVENTIONS

SPAR REVIEW

A0



RIVERLAND ENERGY COOP  
PROPOSED OUTPOST  
HOLMEN, WI


DRAWN BY: CMB  
PM: LP  
JOB NO: 16-121/19010  
DATE: 03.11.2019

WALL TYPES  
**C100**

# RIVERLAND ENERGY COOP PROPOSED OUTPOST HOLMEN, WI



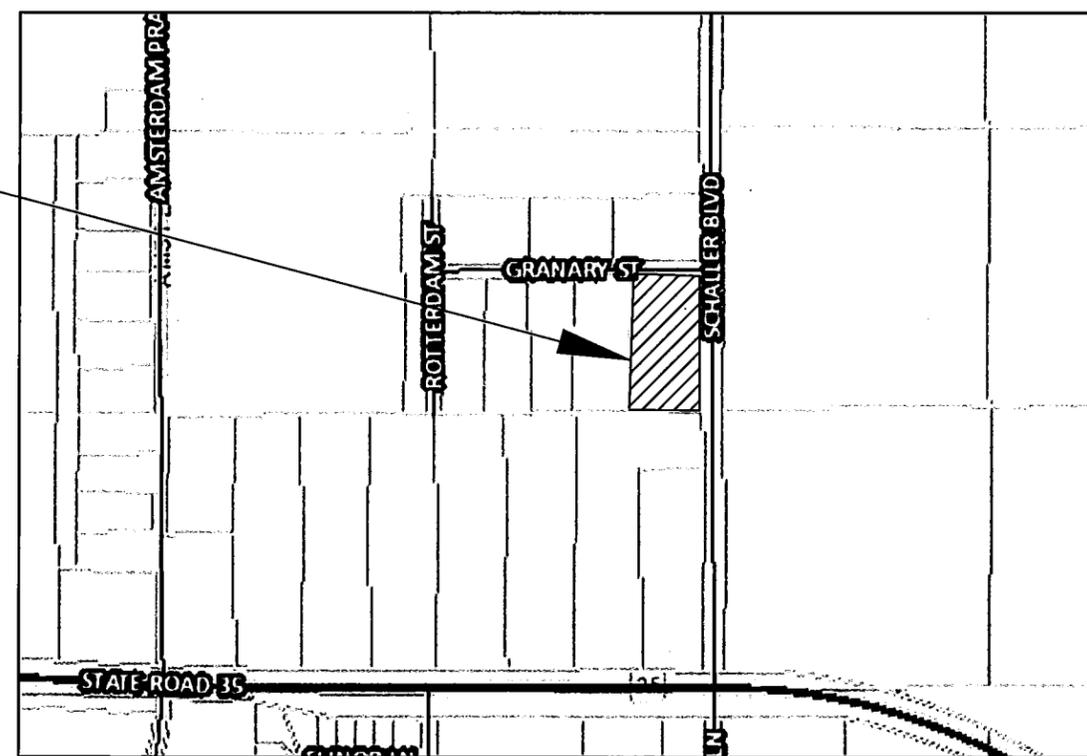
LA CROSSE COUNTY

VICINITY MAP



Know what's below.  
Call before you dig.

## PROJECT LOCATION



LOCATION MAP

- ABBREVIATIONS:**  
 BC=BACK OF CURB  
 BLK=BLOCK NUMBER  
 BOT=BOTTOM (ELEV)  
 CL=CENTERLINE  
 CS=CURB STOP  
 ELEV=ELEVATION  
 EOP=EDGE OF PAVEMENT  
 EX=EXISTING  
 FES=FLARED END SECTION  
 FF=FINISHED FLOOR (ELEV)  
 FL=FLOWLINE  
 GF=GARAGE FLOOR (ELEV)  
 GLG=GROUND LINE GROOVE  
 HWL=HIGH WATER LEVEL  
 INV=INVERT  
 LF=LINEAR FEET  
 LO=LOOKOUT STYLE HOME  
 LT=LEFT  
 MIN=MINIMUM  
 NWL=NORMAL WATER LEVEL  
 PC=POINT OF CURVE  
 PRC=CURVE REVERSAL POINT  
 PT=POINT OF TANGENCY  
 RAD=RADIUS  
 RT=RIGHT  
 R/W=RIGHT OF WAY  
 SAN=SANITARY SEWER  
 SP=SPOT ELEVATION  
 STA=STATION  
 STM=STORM SEWER  
 TC=TOP OF CURB  
 TYP=TYPICAL  
 W=WATER FITTINGS  
 WAT=WATER  
 WM=WATERMAIN  
 WO=WALKOUT STYLE HOME

- LEGEND**
- |                 |                 |                     |
|-----------------|-----------------|---------------------|
| <b>EXISTING</b> | <b>PROPOSED</b> | ---BENCHMARK        |
| ⊕               | ⊕               | ---CONTROL POINT    |
| ⊕               | ⊕               | ---SIGN             |
| ⊕               | ⊕               | ---CURB STOP        |
| ⊕               | ⊕               | ---WELL             |
| ⊕               | ⊕               | ---HYDRANT          |
| ⊕               | ⊕               | ---GATE VALVE       |
| ⊕               | ⊕               | ---CURB INLET       |
| ⊕               | ⊕               | ---AREA DRAIN       |
| ⊕               | ⊕               | ---SAN MH           |
| ⊕               | ⊕               | ---STORM MH         |
| ⊕               | ⊕               | ---SAN CLEANOUT     |
| ⊕               | ⊕               | ---GAS MANHOLE      |
| ⊕               | ⊕               | ---LIGHT POLE       |
| ⊕               | ⊕               | ---UTILITY POLE     |
| ⊕               | ⊕               | ---GUY WIRE         |
| ⊕               | ⊕               | ---GUY POLE         |
| ⊕               | ⊕               | ---PULL BOX         |
| ⊕               | ⊕               | ---ELEC PED         |
| ⊕               | ⊕               | ---CABLE PED        |
| ⊕               | ⊕               | ---MAILBOX          |
| ⊕               | ⊕               | ---TELE PED         |
| ⊕               | ⊕               | ---IRON PIPE        |
| ⊕               | ⊕               | ---ROW POST         |
| ⊕               | ⊕               | ---REBAR            |
| ⊕               | ⊕               | ---WATER MAIN       |
| ⊕               | ⊕               | ---SANITARY SEWER   |
| ⊕               | ⊕               | ---STORM SEWER      |
| ⊕               | ⊕               | ---OVERHEAD UTILITY |
| ⊕               | ⊕               | ---TELEPHONE LINE   |
| ⊕               | ⊕               | ---GAS LINE         |
| ⊕               | ⊕               | ---ELECTRIC LINE    |
| ⊕               | ⊕               | ---CABLE TV LINE    |
| ⊕               | ⊕               | ---TREELINE         |
| ⊕               | ⊕               | ---EXISTING TREES   |
| ⊕               | ⊕               | ---MARSH            |
| ⊕               | ⊕               | ---FENCE LINE       |
| ⊕               | ⊕               | ---WOVEN WIRE FENCE |
| ⊕               | ⊕               | ---SILT FENCE       |
| ⊕               | ⊕               | ---RETAINING WALL   |
| ⊕               | ⊕               | ---CONTOURS MAJOR   |
| ⊕               | ⊕               | ---CONTOURS MINOR   |

CONTACTS	
VILLAGE ADMINISTRATOR	VILLAGE OF HOLMEN SCOTT A. HEINIG (608) 526-6305
PUBLIC WORKS	DIRECTOR OF PUBLIC WORKS PETE MEZERA (608) 526-6308
VILLAGE ENGINEER	VILLAGE OF HOLMEN CHRIS DAHL (608) 526-6322
FIRE DEPARTMENT	(608) 526-9363
ELECTRIC	RIVERLAND ENERGY COOPERATIVE (608) 863-2377
GAS	XCEL ENERGY (608) 789-3631
CABLE	CHARTER CABLE (715) 370-7140
PHONE	CENTURYTEL (608) 796-5142

**PROJECT ARCHITECT:**  
 RIVER VALLEY ARCHITECTS, INC.  
 ATTN: LINDA POWERS  
 3300 BIRCH STREET, SUITE 1A  
 EAU CLAIRE, WI 54701  
 715-832-0875  
 EMAIL: linda@rivervalleyarchitects.com

**PROJECT ENGINEER:**  
 ADVANCED ENGINEERING CONCEPTS  
 SEAN BOHAN, P.E.  
 1360 INTERNATIONAL DRIVE, SUITE #1  
 EAU CLAIRE, WI 54701  
 715-552-0330  
 EMAIL: sbohan@rls-aec.com

SCHEDULE OF REQUIRED PERMITS		
APPROVALS NEEDED	DATE SUBMITTED	APPROVAL
WIDNR - WRAPP PERMIT		
DSPS-EXTERNAL PLUMBING PERMIT		
VILLAGE OF HOLMEN		

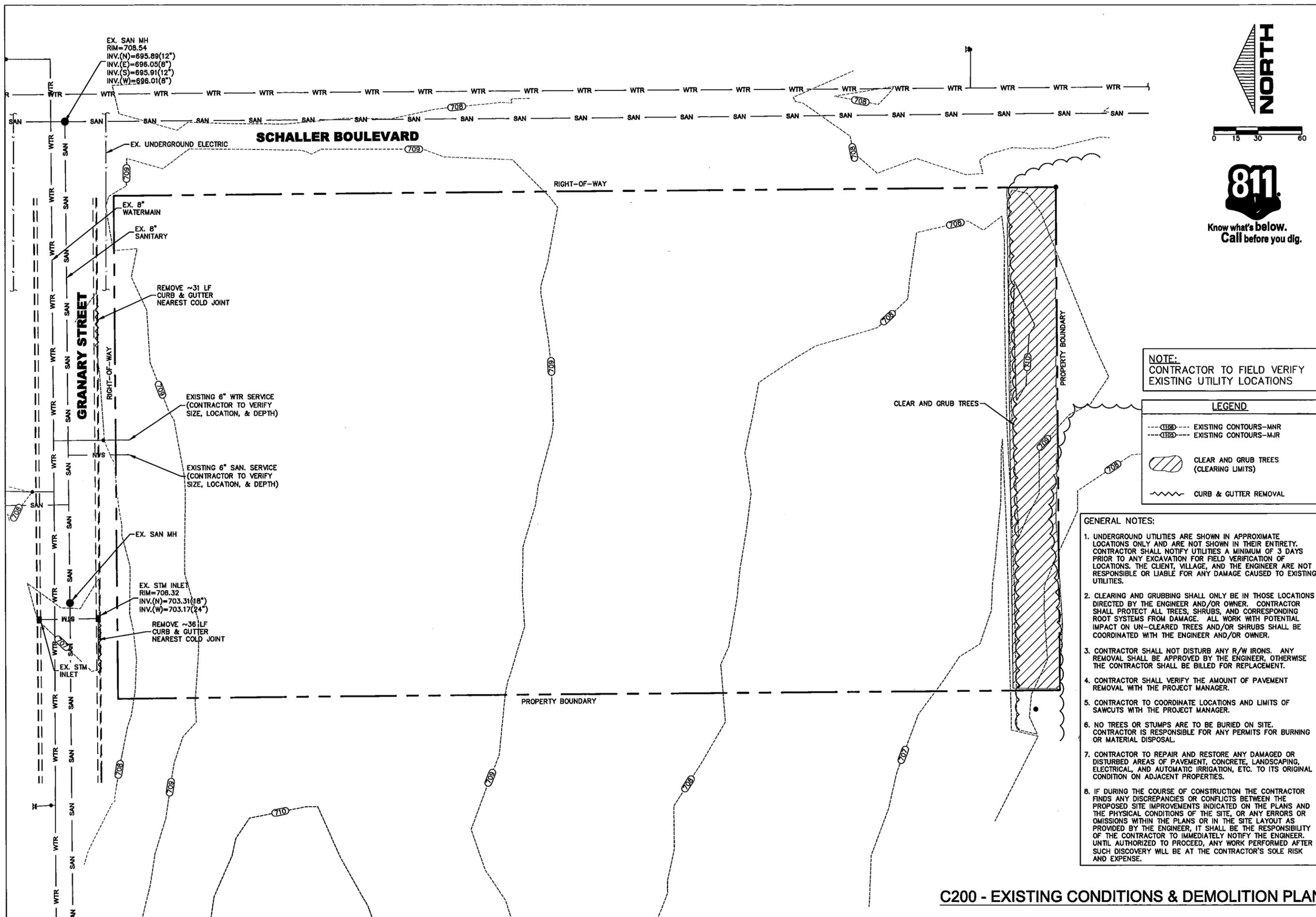
SHEET SCHEDULE	
SHEET NO.	DESCRIPTION
C100	TITLE SHEET
C200	EXISTING CONDITIONS/DEMOLITION PLAN
C300	SITE PLAN
C400	UTILITY PLAN
C500	GRADING PLAN
C600	EROSION CONTROL PLAN
C700-701	DETAILS

AEC PROJECT #: 19010 PLANS DATED: MARCH 2019



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**NOTE:**  
CONTRACTOR TO FIELD VERIFY  
EXISTING UTILITY LOCATIONS

LEGEND	
	EXISTING CONTOURS-MNR
	EXISTING CONTOURS-MJR
	CLEAR AND GRUB TREES (CLEARING LIMITS)
	CURB & GUTTER REMOVAL

- GENERAL NOTES:**
- UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY AND ARE NOT SHOWN IN THEIR ENTIRETY. CONTRACTOR SHALL NOTIFY UTILITIES A MINIMUM OF 3 DAYS PRIOR TO ANY EXCAVATION FOR FIELD VERIFICATION OF LOCATIONS. THE CLIENT, VILLAGE, AND THE ENGINEER ARE NOT RESPONSIBLE OR LIABLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES.
  - CLEARING AND GRUBBING SHALL ONLY BE IN THOSE LOCATIONS DIRECTED BY THE ENGINEER AND/OR OWNER. CONTRACTOR SHALL PROTECT ALL TREES, SHRUBS, AND CORRESPONDING ROOT SYSTEMS FROM DAMAGE. ALL WORK WITH POTENTIAL IMPACT ON UN-CLEARED TREES AND/OR SHRUBS SHALL BE COORDINATED WITH THE ENGINEER AND/OR OWNER.
  - CONTRACTOR SHALL NOT DISTURB ANY R/W IRONS. ANY REMOVAL SHALL BE APPROVED BY THE ENGINEER, OTHERWISE THE CONTRACTOR SHALL BE BILLED FOR REPLACEMENT.
  - CONTRACTOR SHALL VERIFY THE AMOUNT OF PAVEMENT REMOVAL WITH THE PROJECT MANAGER.
  - CONTRACTOR TO COORDINATE LOCATIONS AND LIMITS OF SAWCUTS WITH THE PROJECT MANAGER.
  - NO TREES OR STUMPS ARE TO BE BURIED ON SITE. CONTRACTOR IS RESPONSIBLE FOR ANY PERMITS FOR BURNING OR MATERIAL DISPOSAL.
  - CONTRACTOR TO REPAIR AND RESTORE ANY DAMAGED OR DISTURBED AREAS OF PAVEMENT, CONCRETE, LANDSCAPING, ELECTRICAL, AND AUTOMATIC IRRIGATION, ETC. TO ITS ORIGINAL CONDITION ON ADJACENT PROPERTIES.
  - IF DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR FINDS ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PROPOSED SITE IMPROVEMENTS INDICATED ON THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, OR ANY ERRORS OR OMISSIONS WITHIN THE PLANS OR IN THE SITE LAYOUT AS PROVIDED BY THE ENGINEER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY NOTIFY THE ENGINEER. UNTIL AUTHORIZED TO PROCEED, ANY WORK PERFORMED AFTER SUCH DISCOVERY WILL BE AT THE CONTRACTOR'S SOLE RISK AND EXPENSE.

**C200 - EXISTING CONDITIONS & DEMOLITION PLAN**

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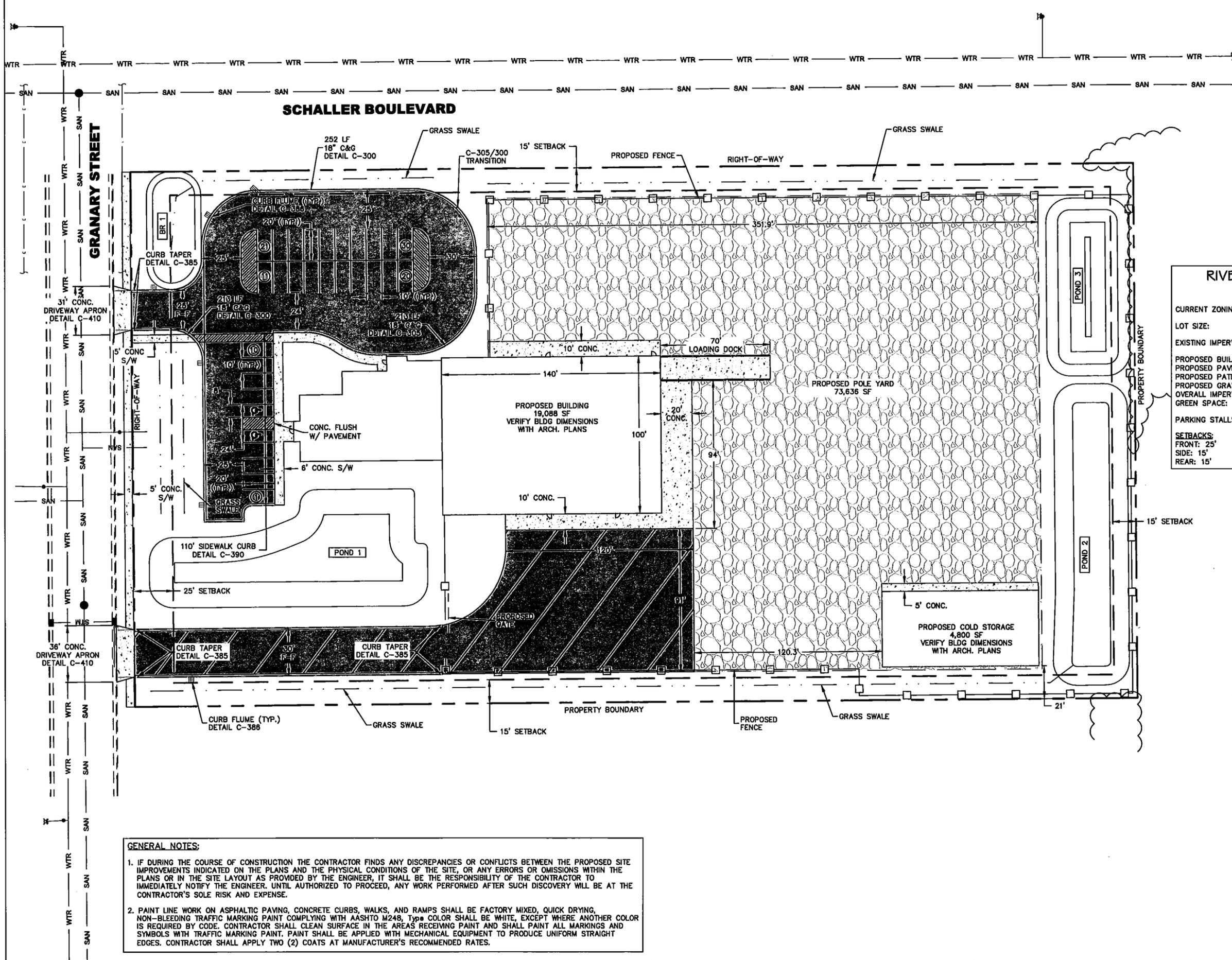


RIVERLAND ENERGY COOP  
PROPOSED OUTPOST  
HOLMEN, WI


DRAWN BY: CMB  
FM: LP  
JOB NO: 16-121 / 19010  
DATE: 03.11.2019  
WALL TYPES

**C200**

SPAR REVIEW



Know what's below.  
Call before you dig.

RIVERLAND ENERGY COOP HOLMEN, WI	
CURRENT ZONING:	LI-LIGHT INDUSTRIAL
LOT SIZE:	218,009 SF (5.0 AC.)
EXISTING IMPERVIOUS AREA:	0-SF (0.0%)
PROPOSED BUILDING:	23,888-SF (11.0%)
PROPOSED PAVEMENT:	41,732-SF (19.1%)
PROPOSED PATIO/SIDEWALK:	6,781-SF (3.1%)
PROPOSED GRAVEL:	73,032-SF (33.5%)
OVERALL IMPERVIOUSNESS:	145,433-SF (66.7%)
GREEN SPACE:	72,576-SF (33.3%)
PARKING STALLS:	30 TOTAL (2 ACCESSIBLE)
SETBACKS:	
FRONT:	25'
SIDE:	15'
REAR:	15'

HATCHING LEGEND	
	PROPOSED HEAVY DUTY PAVEMENT
	PROPOSED LIGHT DUTY PAVEMENT
	PROPOSED BUILDING
	PROPOSED CONCRETE PAVEMENT
	PROPOSED GRAVEL

LIGHT DUTY PAVEMENT	
1.75" SURFACE COURSE	3.5"
1.75" BINDER COURSE	
10" BASE COURSE	
LIGHT DUTY PAVEMENT SECTION	

CONCRETE PAVEMENT	
7"	
6" BASE COURSE	
CONCRETE PAVEMENT SECTION	

GRAVEL SECTION	
12"	

HEAVY DUTY PAVEMENT	
1.75" SURFACE COURSE	4.5"
2.75" BINDER COURSE	
12" BASE COURSE	
HEAVY DUTY PAVEMENT SECTION	

**GENERAL NOTES:**

- IF DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR FINDS ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PROPOSED SITE IMPROVEMENTS INDICATED ON THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, OR ANY ERRORS OR OMISSIONS WITHIN THE PLANS OR IN THE SITE LAYOUT AS PROVIDED BY THE ENGINEER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY NOTIFY THE ENGINEER. UNTIL AUTHORIZED TO PROCEED, ANY WORK PERFORMED AFTER SUCH DISCOVERY WILL BE AT THE CONTRACTOR'S SOLE RISK AND EXPENSE.
- PAINT LINE WORK ON ASPHALTIC PAVING, CONCRETE CURBS, WALKS, AND RAMPS SHALL BE FACTORY MIXED, QUICK DRYING, NON-BLEEDING TRAFFIC MARKING PAINT COMPLYING WITH AASHTO M248, Type COLOR SHALL BE WHITE, EXCEPT WHERE ANOTHER COLOR IS REQUIRED BY CODE. CONTRACTOR SHALL CLEAN SURFACE IN THE AREAS RECEIVING PAINT AND SHALL PAINT ALL MARKINGS AND SYMBOLS WITH TRAFFIC MARKING PAINT. PAINT SHALL BE APPLIED WITH MECHANICAL EQUIPMENT TO PRODUCE UNIFORM STRAIGHT EDGES. CONTRACTOR SHALL APPLY TWO (2) COATS AT MANUFACTURER'S RECOMMENDED RATES.

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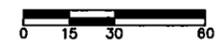
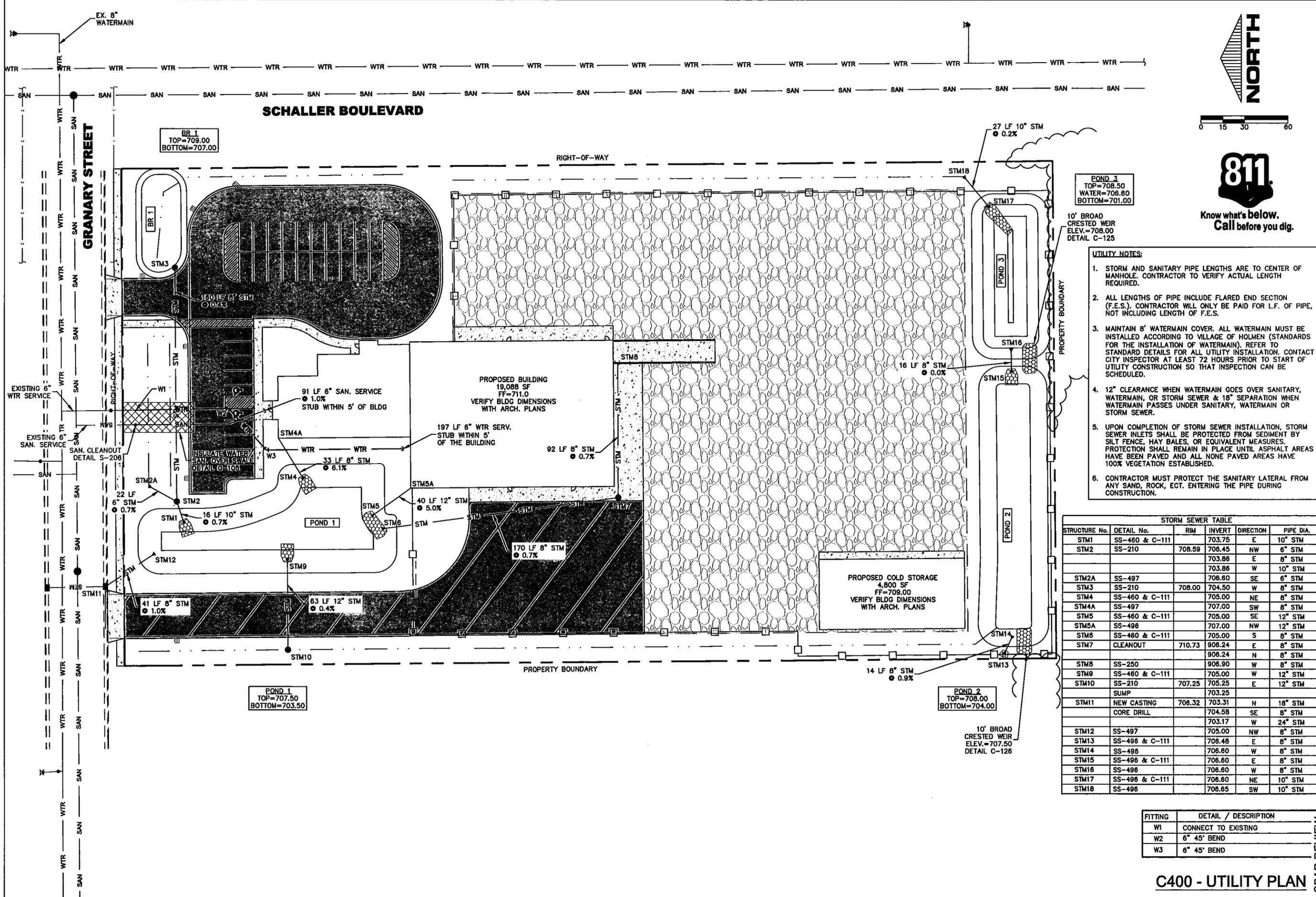
RIVERLAND ENERGY COOP  
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C300

SPAR REVIEW

C300 - SITE PLAN



Know what's below.  
Call before you dig.

- UTILITY NOTES:**
- STORM AND SANITARY PIPE LENGTHS ARE TO CENTER OF MANHOLE. CONTRACTOR TO VERIFY ACTUAL LENGTH REQUIRED.
  - ALL LENGTHS OF PIPE INCLUDE FLARED END SECTION (F.E.S.). CONTRACTOR WILL ONLY BE PAID FOR L.F. OF PIPE, NOT INCLUDING LENGTH OF F.E.S.
  - MAINTAIN 8" WATERMAIN COVER. ALL WATERMAIN MUST BE INSTALLED ACCORDING TO VILLAGE OF HOLMEN (STANDARDS FOR THE INSTALLATION OF WATERMAIN). REFER TO STANDARD DETAILS FOR ALL UTILITY INSTALLATION. CONTACT CITY INSPECTOR AT LEAST 72 HOURS PRIOR TO START OF UTILITY CONSTRUCTION SO THAT INSPECTION CAN BE SCHEDULED.
  - 12" CLEARANCE WHEN WATERMAIN GOES OVER SANITARY, WATERMAIN, OR STORM SEWER & 18" SEPARATION WHEN WATERMAIN PASSES UNDER SANITARY, WATERMAIN OR STORM SEWER.
  - UPON COMPLETION OF STORM SEWER INSTALLATION, STORM SEWER INLETS SHALL BE PROTECTED FROM SEDIMENT BY SILT FENCE, HAY BALES, OR EQUIVALENT MEASURES. PROTECTION SHALL REMAIN IN PLACE UNTIL ASPHALT AREAS HAVE BEEN PAVED AND ALL NONE PAVED AREAS HAVE 100% VEGETATION ESTABLISHED.
  - CONTRACTOR MUST PROTECT THE SANITARY LATERAL FROM ANY SAND, ROCK, ECT. ENTERING THE PIPE DURING CONSTRUCTION.

STORM SEWER TABLE					
STRUCTURE No.	DETAIL No.	RIM	INVERT	DIRECTION	PIPE DIA.
STM1	SS-460 & C-111	703.75	703.75	E	10" STM
STM2	SS-210	708.59	708.45	NW	6" STM
			703.86	E	8" STM
			703.86	W	10" STM
STM2A	SS-497		708.60	SE	6" STM
STM3	SS-210	708.00	704.50	W	8" STM
STM4	SS-460 & C-111		705.00	NE	8" STM
STM4A	SS-497		707.00	SW	8" STM
STM5	SS-460 & C-111		705.00	SE	12" STM
STM5A	SS-496		707.00	NW	12" STM
STM6	SS-460 & C-111		705.00	S	8" STM
STM7	CLEANOUT	710.73	908.24	E	8" STM
			908.24	N	8" STM
STM8	SS-250		908.90	W	8" STM
STM9	SS-460 & C-111		705.00	W	12" STM
STM10	SS-210	707.25	705.25	E	12" STM
	SUMP		703.25		
STM11	NEW CASTING	708.32	703.31	N	18" STM
	CORE DRILL		704.58	SE	8" STM
			703.17	W	24" STM
STM12	SS-497		705.00	NW	8" STM
STM13	SS-496 & C-111		708.48	E	8" STM
STM14	SS-496		708.60	W	8" STM
STM15	SS-496 & C-111		708.60	E	8" STM
STM16	SS-496		708.60	W	8" STM
STM17	SS-496 & C-111		708.60	NE	10" STM
STM18	SS-496		708.65	SW	10" STM

FITTING	DETAIL / DESCRIPTION
W1	CONNECT TO EXISTING
W2	6" 45° BEND
W3	6" 45° BEND

**C400 - UTILITY PLAN**

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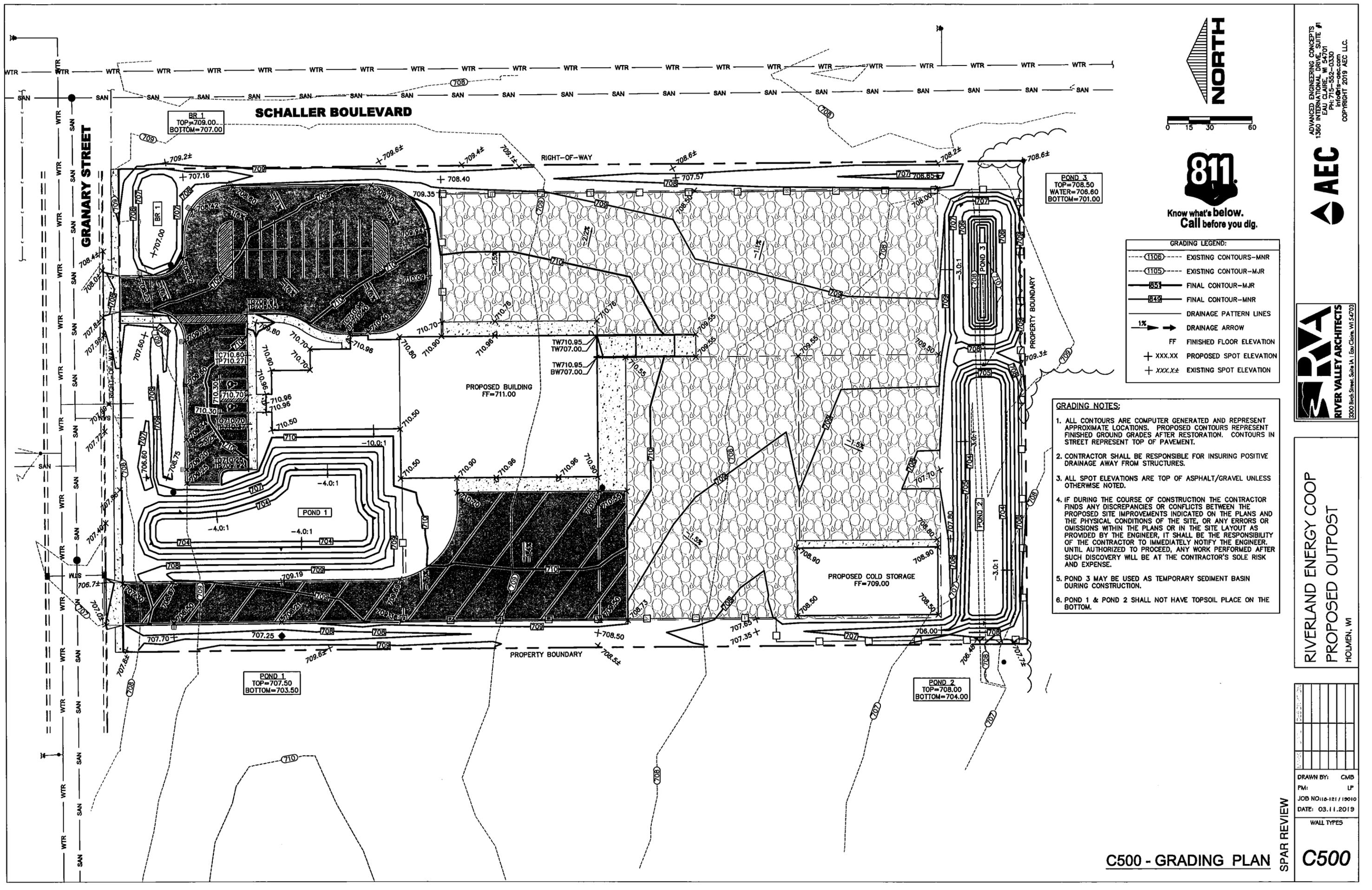


RIVERLAND ENERGY COOP  
PROPOSED OUTPOST  
HOLMEN, WI

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DATE: 03.11.2019  
WALL TYPES

**C400**

SPAR REVIEW



Know what's below.  
Call before you dig.

GRADING LEGEND:

(1106)	EXISTING CONTOURS-MNR
(1105)	EXISTING CONTOUR-MJR
851	FINAL CONTOUR-MJR
849	FINAL CONTOUR-MNR
---	DRAINAGE PATTERN LINES
→	DRAINAGE ARROW
FF	FINISHED FLOOR ELEVATION
+ XXX.XX	PROPOSED SPOT ELEVATION
+ XXX.X±	EXISTING SPOT ELEVATION

- GRADING NOTES:
1. ALL CONTOURS ARE COMPUTER GENERATED AND REPRESENT APPROXIMATE LOCATIONS. PROPOSED CONTOURS REPRESENT FINISHED GROUND GRADES AFTER RESTORATION. CONTOURS IN STREET REPRESENT TOP OF PAVEMENT.
  2. CONTRACTOR SHALL BE RESPONSIBLE FOR INSURING POSITIVE DRAINAGE AWAY FROM STRUCTURES.
  3. ALL SPOT ELEVATIONS ARE TOP OF ASPHALT/GRAVEL UNLESS OTHERWISE NOTED.
  4. IF DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR FINDS ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PROPOSED SITE IMPROVEMENTS INDICATED ON THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, OR ANY ERRORS OR OMISSIONS WITHIN THE PLANS OR IN THE SITE LAYOUT AS PROVIDED BY THE ENGINEER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY NOTIFY THE ENGINEER. UNTIL AUTHORIZED TO PROCEED, ANY WORK PERFORMED AFTER SUCH DISCOVERY WILL BE AT THE CONTRACTOR'S SOLE RISK AND EXPENSE.
  5. POND 3 MAY BE USED AS TEMPORARY SEDIMENT BASIN DURING CONSTRUCTION.
  6. POND 1 & POND 2 SHALL NOT HAVE TOPSOIL PLACE ON THE BOTTOM.

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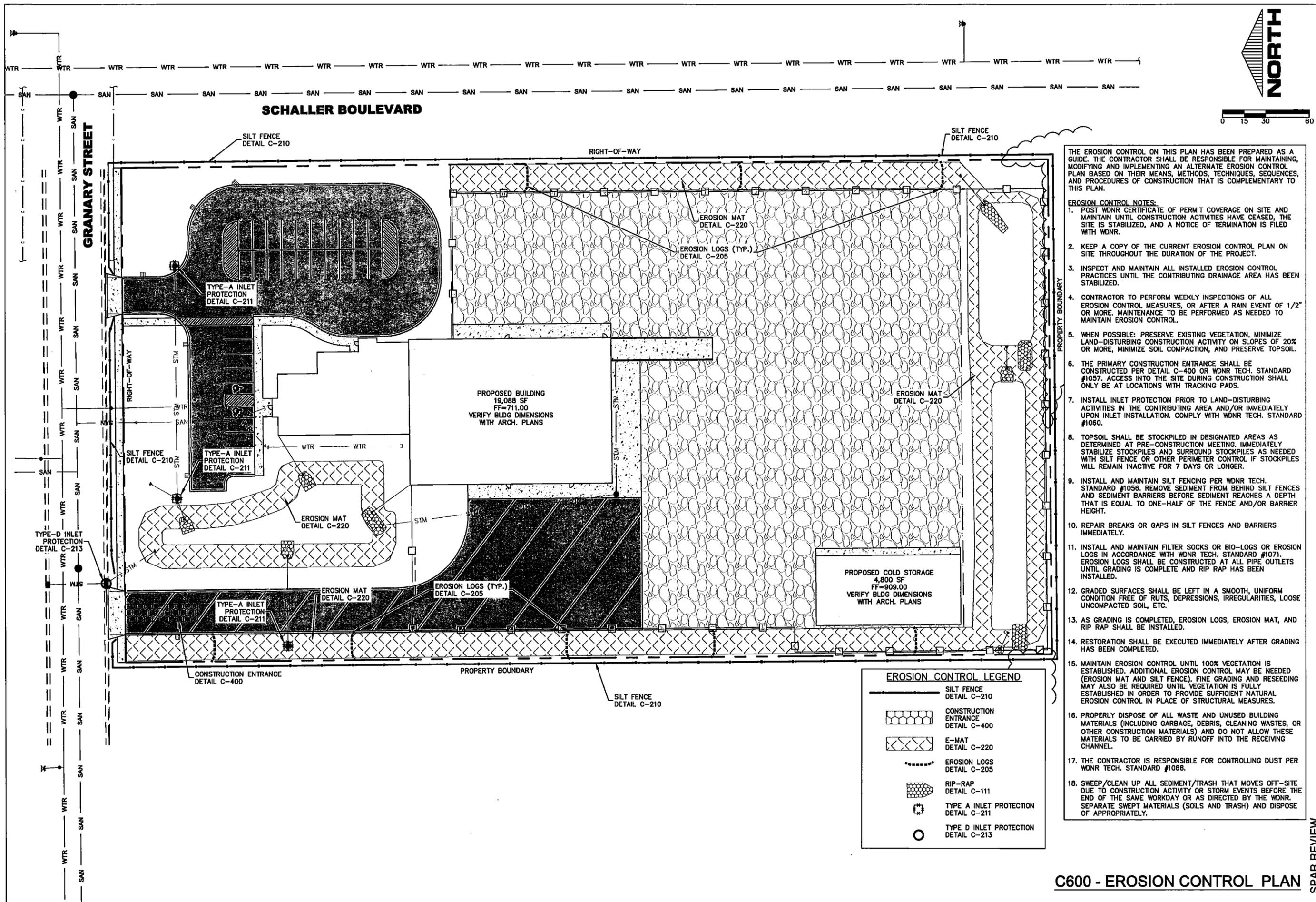


RIVERLAND ENERGY COOP  
PROPOSED OUTPOST  
HOLMEN, WI


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WALL TYPES

C500 - GRADING PLAN

SPAR REVIEW  
C500



THE EROSION CONTROL ON THIS PLAN HAS BEEN PREPARED AS A GUIDE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING, MODIFYING AND IMPLEMENTING AN ALTERNATE EROSION CONTROL PLAN BASED ON THEIR MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF CONSTRUCTION THAT IS COMPLEMENTARY TO THIS PLAN.

**EROSION CONTROL NOTES:**

- POST WDNR CERTIFICATE OF PERMIT COVERAGE ON SITE AND MAINTAIN UNTIL CONSTRUCTION ACTIVITIES HAVE CEASED, THE SITE IS STABILIZED, AND A NOTICE OF TERMINATION IS FILED WITH WDNR.
- KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
- INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
- CONTRACTOR TO PERFORM WEEKLY INSPECTIONS OF ALL EROSION CONTROL MEASURES, OR AFTER A RAIN EVENT OF 1/2" OR MORE. MAINTENANCE TO BE PERFORMED AS NEEDED TO MAINTAIN EROSION CONTROL.
- WHEN POSSIBLE: PRESERVE EXISTING VEGETATION, MINIMIZE LAND-DISTURBING CONSTRUCTION ACTIVITY ON SLOPES OF 20% OR MORE, MINIMIZE SOIL COMPACTION, AND PRESERVE TOPSOIL.
- THE PRIMARY CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED PER DETAIL C-400 OR WDNR TECH. STANDARD #1057. ACCESS INTO THE SITE DURING CONSTRUCTION SHALL ONLY BE AT LOCATIONS WITH TRACKING PADS.
- INSTALL INLET PROTECTION PRIOR TO LAND-DISTURBING ACTIVITIES IN THE CONTRIBUTING AREA AND/OR IMMEDIATELY UPON INLET INSTALLATION. COMPLY WITH WDNR TECH. STANDARD #1060.
- TOPSOIL SHALL BE STOCKPILED IN DESIGNATED AREAS AS DETERMINED AT PRE-CONSTRUCTION MEETING. IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
- INSTALL AND MAINTAIN SILT FENCING PER WDNR TECH. STANDARD #1056. REMOVE SEDIMENT FROM BEHIND SILT FENCES AND SEDIMENT BARRIERS BEFORE SEDIMENT REACHES A DEPTH THAT IS EQUAL TO ONE-HALF OF THE FENCE AND/OR BARRIER HEIGHT.
- REPAIR BREAKS OR GAPS IN SILT FENCES AND BARRIERS IMMEDIATELY.
- INSTALL AND MAINTAIN FILTER SOCKS OR BIO-LOGS OR EROSION LOGS IN ACCORDANCE WITH WDNR TECH. STANDARD #1071. EROSION LOGS SHALL BE CONSTRUCTED AT ALL PIPE OUTLETS UNTIL GRADING IS COMPLETE AND RIP RAP HAS BEEN INSTALLED.
- GRADED SURFACES SHALL BE LEFT IN A SMOOTH, UNIFORM CONDITION FREE OF RUTS, DEPRESSIONS, IRREGULARITIES, LOOSE UNCOMPACTED SOIL, ETC.
- AS GRADING IS COMPLETED, EROSION LOGS, EROSION MAT, AND RIP RAP SHALL BE INSTALLED.
- RESTORATION SHALL BE EXECUTED IMMEDIATELY AFTER GRADING HAS BEEN COMPLETED.
- MAINTAIN EROSION CONTROL UNTIL 100% VEGETATION IS ESTABLISHED. ADDITIONAL EROSION CONTROL MAY BE NEEDED (EROSION MAT AND SILT FENCE). FINE GRADING AND RESEEDING MAY ALSO BE REQUIRED UNTIL VEGETATION IS FULLY ESTABLISHED IN ORDER TO PROVIDE SUFFICIENT NATURAL EROSION CONTROL IN PLACE OF STRUCTURAL MEASURES.
- PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST PER WDNR TECH. STANDARD #1068.
- SWEEP/CLEAN UP ALL SEDIMENT/TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED BY THE WDNR. SEPARATE SWEEP MATERIALS (SOILS AND TRASH) AND DISPOSE OF APPROPRIATELY.

**EROSION CONTROL LEGEND**

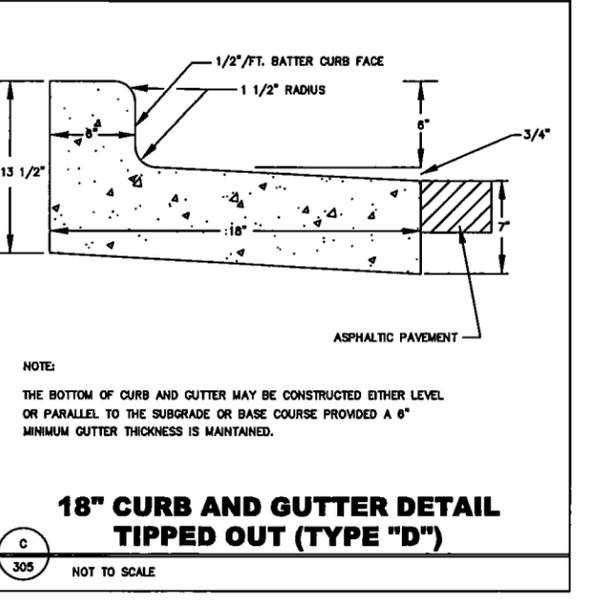
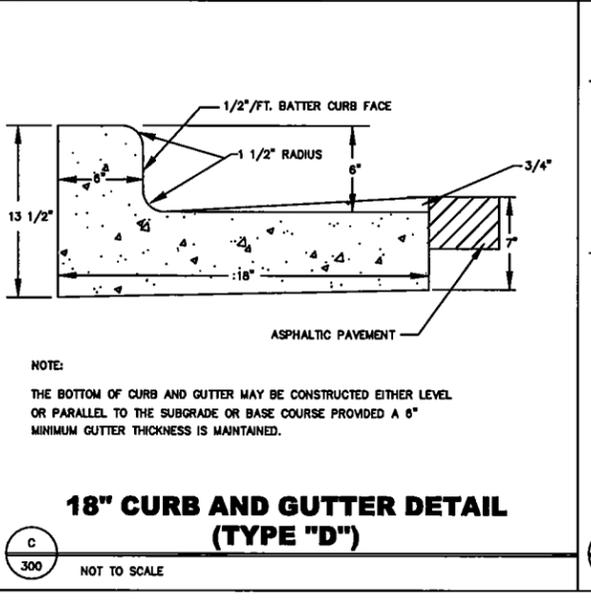
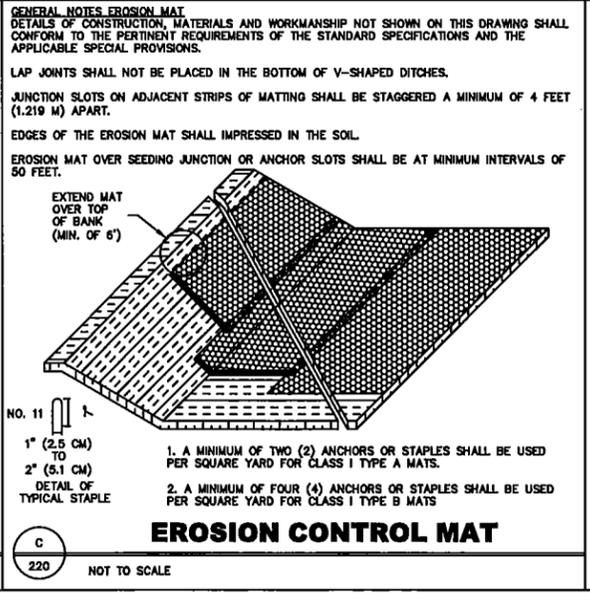
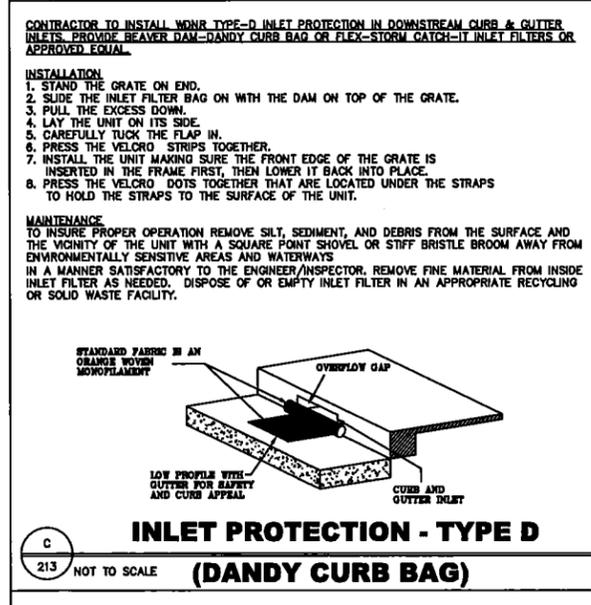
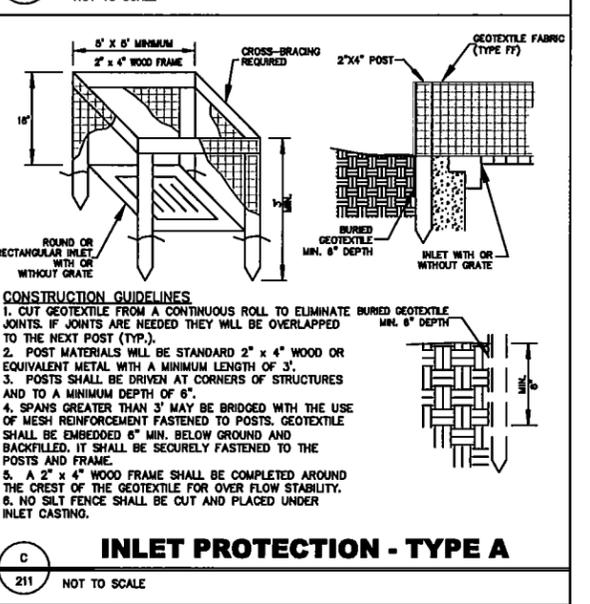
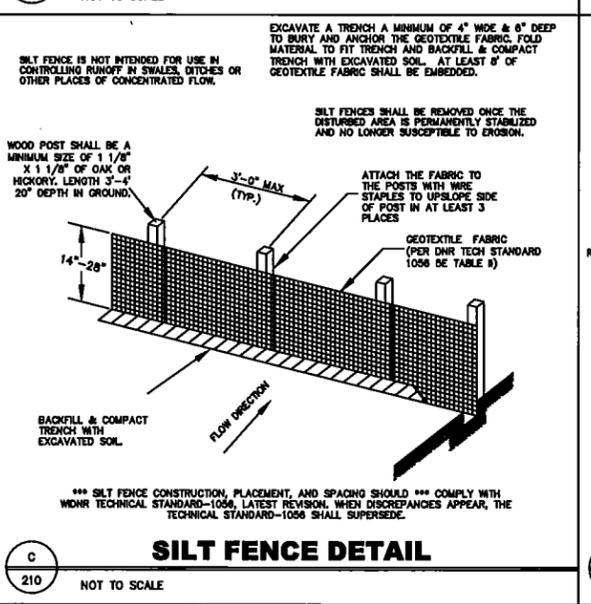
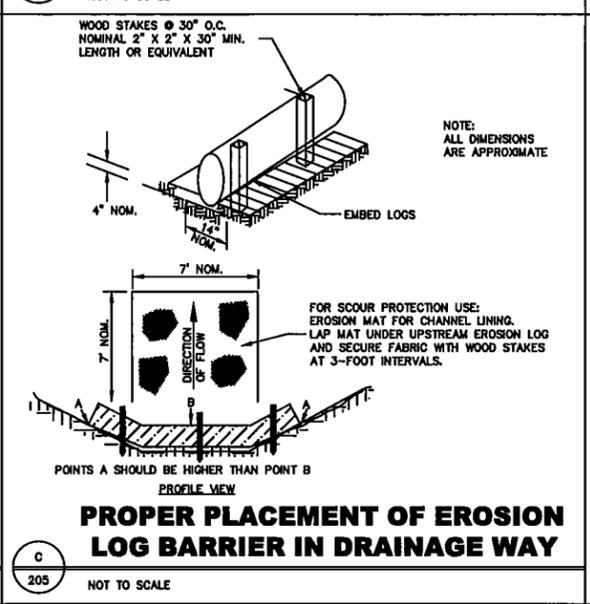
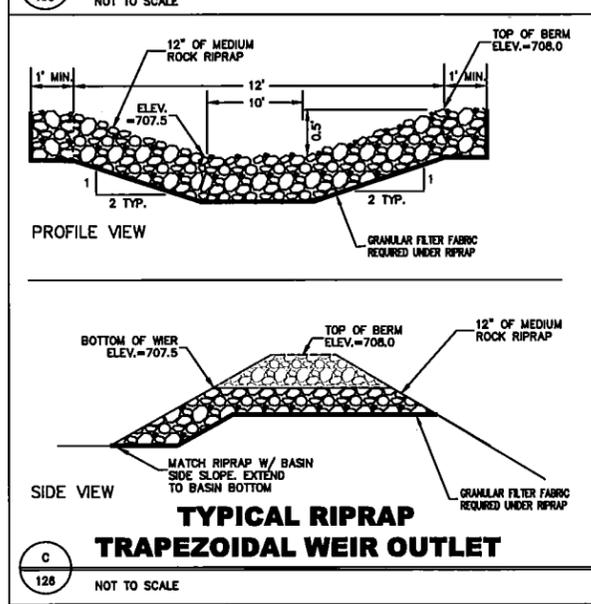
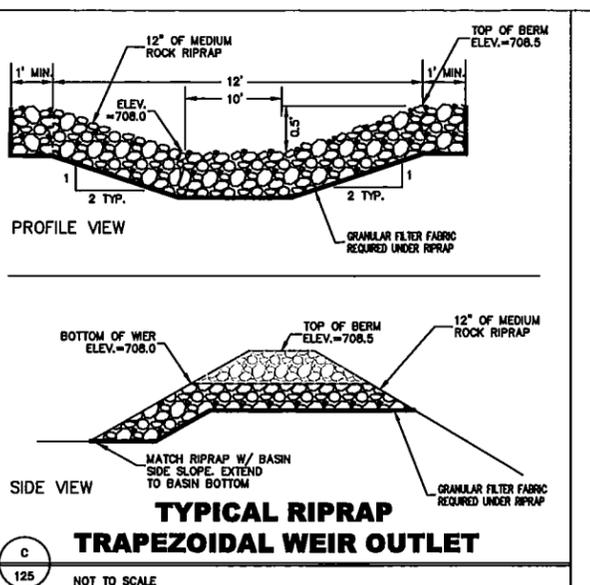
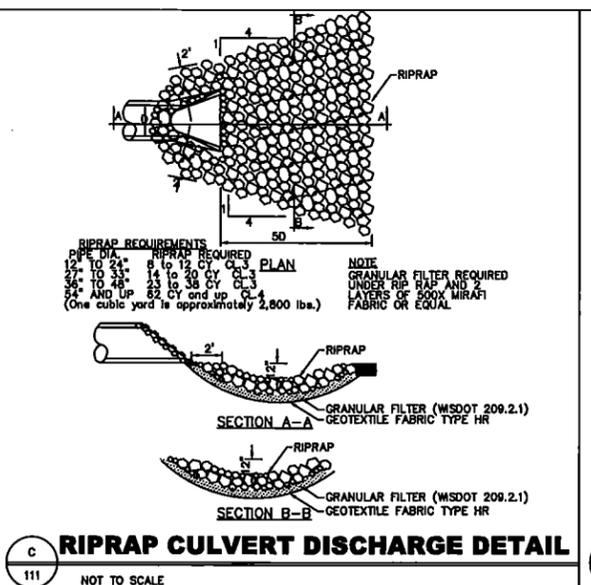
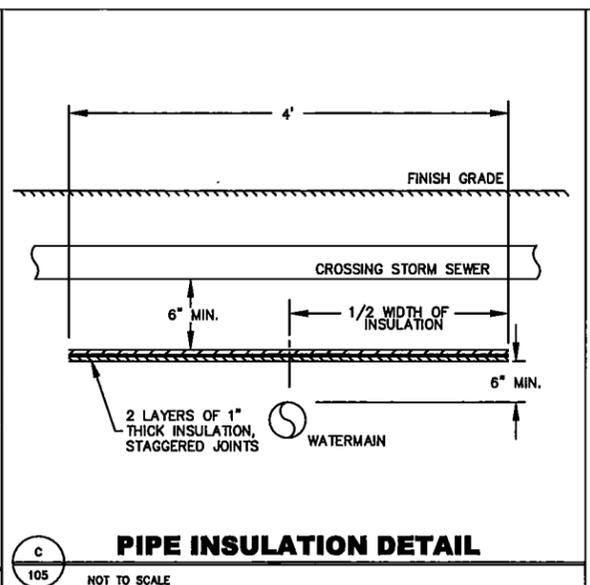
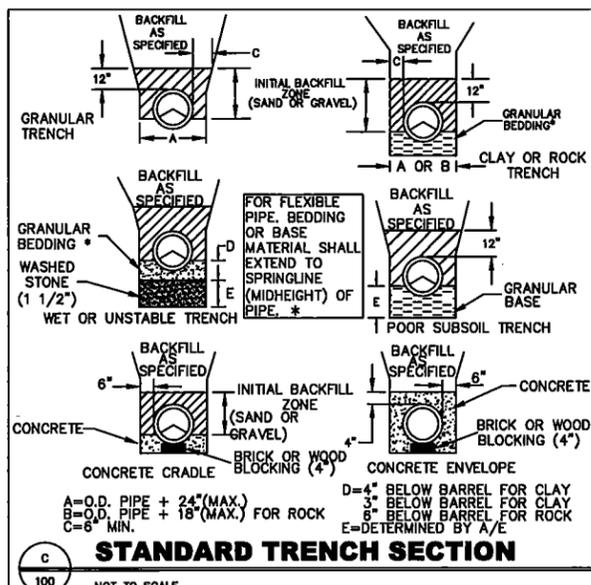
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	CONSTRUCTION ENTRANCE DETAIL C-400
	E-MAT DETAIL C-220
	EROSION LOGS DETAIL C-205
	RIP-RAP DETAIL C-111
	TYPE A INLET PROTECTION DETAIL C-211
	TYPE D INLET PROTECTION DETAIL C-213

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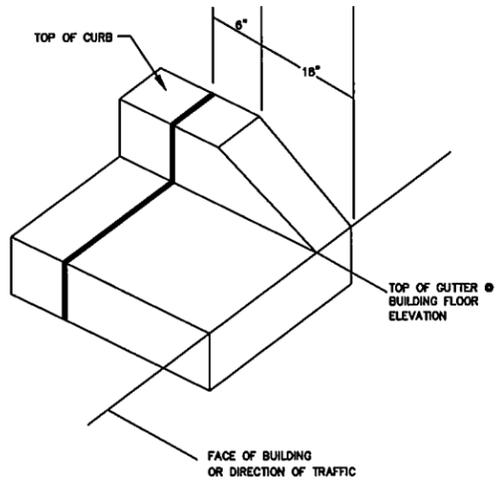


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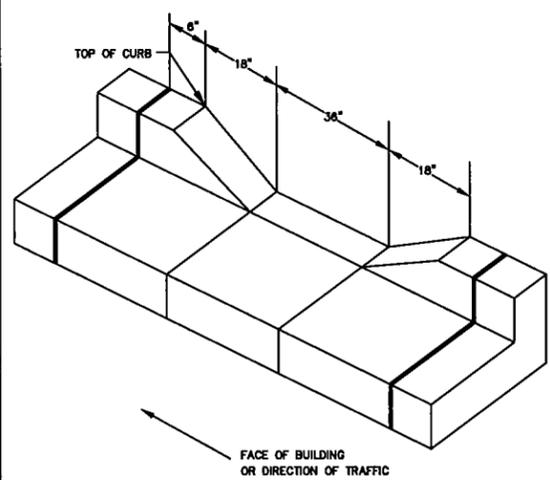
RIVERLAND ENERGY COOP  
PROPOSED OUTPOST  
HOLMEN, WI


DRAWN BY: CMB  
PM: LP  
JOB NO: 16-121/19010  
DATE: 03.11.2019  
WALL TYPES



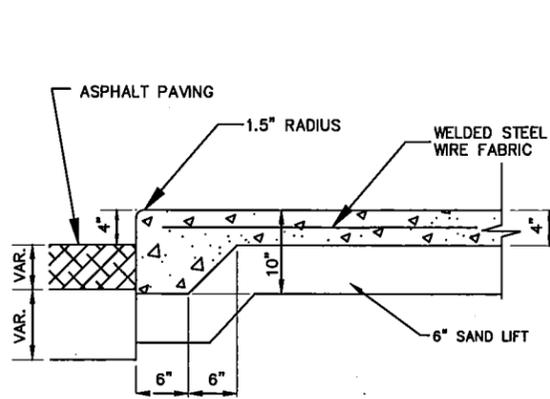
**CURB TAPER**

C 385 NOT TO SCALE



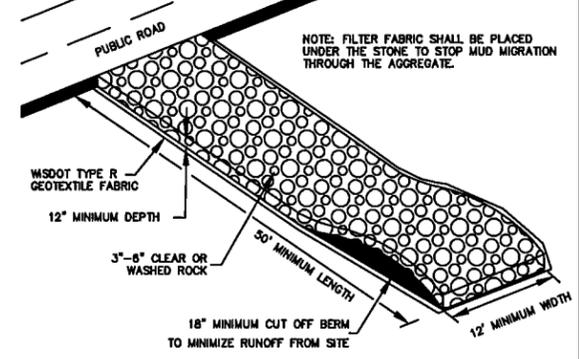
**CURB CUT/OPENING**

C 388 NOT TO SCALE



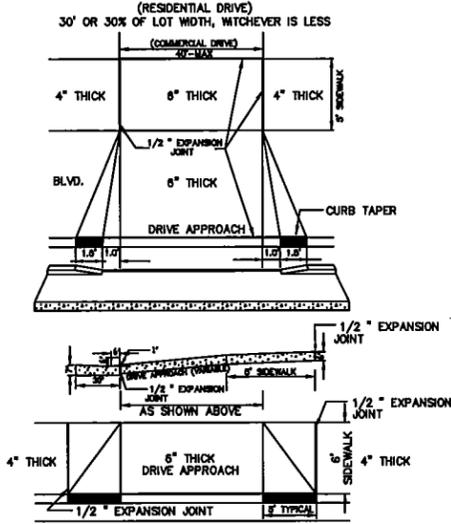
**INTEGRAL CURB AND SIDEWALK DETAIL**

C 390 NOT TO SCALE



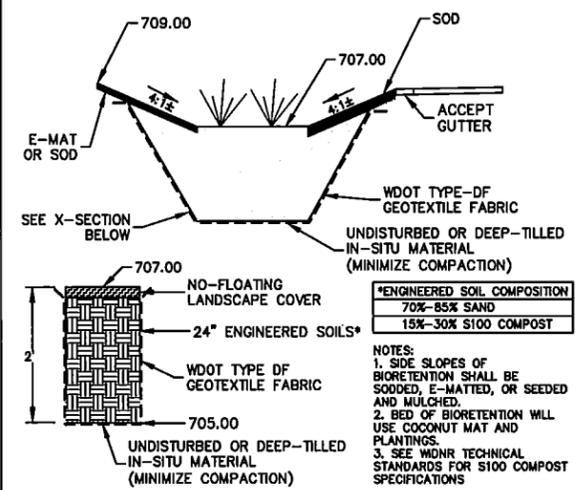
**STONE TRACKING PAD AND TIRE WASHING DETAIL**

C 400 NOT TO SCALE



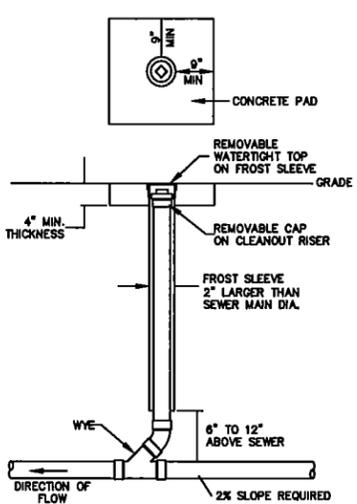
**DRIVEWAY DETAIL**

C 410 NOT TO SCALE



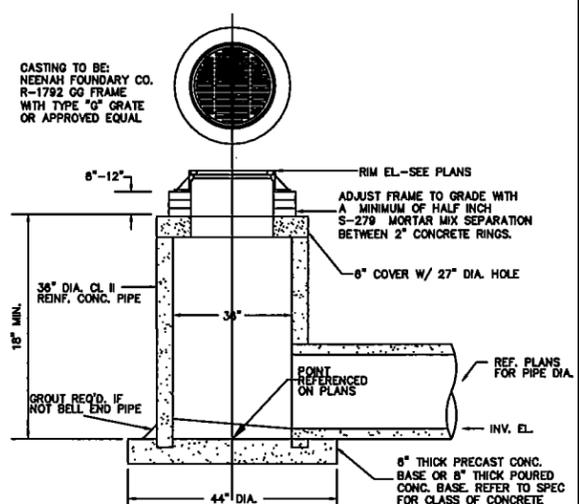
**BIO-RETENTION FILTER- #2**

C 901 NOT TO SCALE



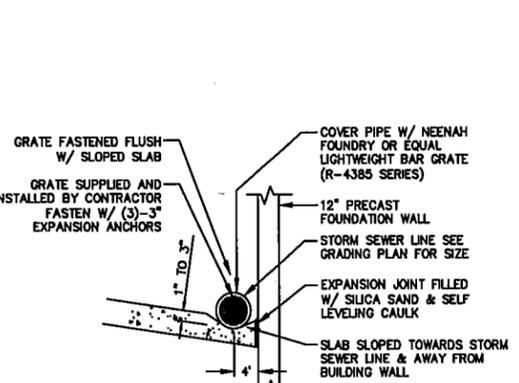
**SEWER CLEANOUT**

S 208 NOT TO SCALE



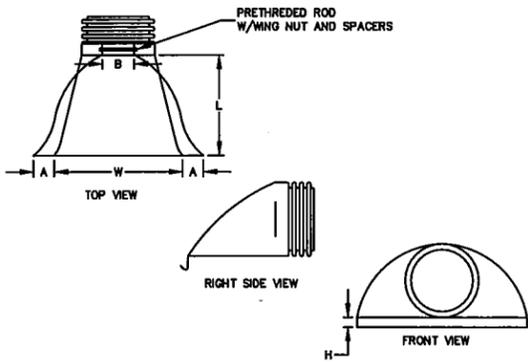
**AREA INLET (FLAT GRATE)**

SS 210 NOT TO SCALE



**RECESSED LOADING DOCK STORM SEWER LINE**

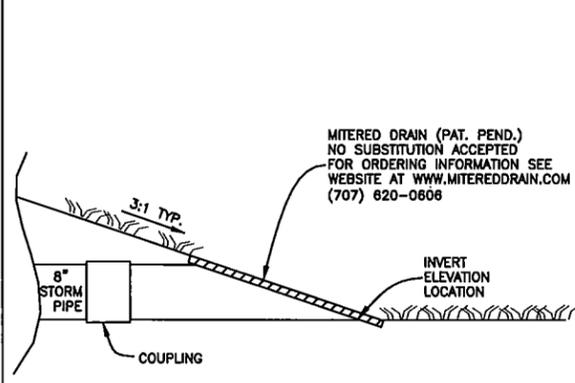
SS 250 NOT TO SCALE



PART#	PIPE SIZE	A	B(MAX)	H	L	W
1210NP	12"	6 1/2"	10"	6 1/2"	25"	29"
1510NP	15"	6 1/2"	10"	6 1/2"	25"	29"
1810NP	18"	7 1/2"	15"	6 1/2"	32"	35"
2410NP	24"	7 1/2"	18"	6 1/2"	36"	43"
3015NP	30"	7 1/2"	22"	8 5/8"	56"	63"
3615NP	36"	7 1/2"	25"	8 5/8"	56"	63"

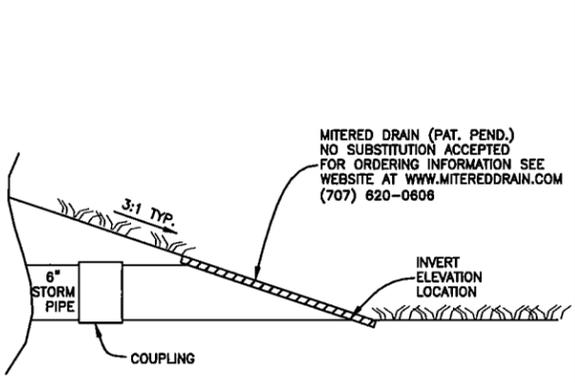
**FLARED END SECTION FOR HDPE**

SS 480 NOT TO SCALE



**8\"/>**

SS 498 NOT TO SCALE



**6\"/>**

SS 497 NOT TO SCALE

ADVANCED ENGINEERING CONCEPTS  
1360 INTERNATIONAL DRIVE, SUITE #1  
EAU CLAIRE, WI 54701  
PH: 715-552-0330  
info@aecc.com  
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RIVERLAND ENERGY COOP  
PROPOSED OUTPOST  
HOLMEN, WI


DRAWN BY: CMB  
PM: LP  
JOB NO: 16-121/19010  
DATE: 03.11.2019

WALL TYPES

**GENERAL NOTES - SHEET 1:**

DRAWING IS FOR REFERENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL PUBLIC AND PRIVATE UTILITIES AND USING PROPER CONSTRUCTION TECHNIQUES.

ALL PLANTINGS SHALL BE TRUE TO NAME, SIZE AND PROPOSED LOCATION. ALL PLANT MATERIAL SHALL CONFORM TO AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z60.1). WHEN PLANTING, DIG HOLE 2 TO 3 TIMES AS WIDE AS THE ROOT BALL. ADD COMPOST AND/OR BLACK DIRT TO IMPROVE SOIL CONDITION WHEN NEEDED.

LAWN AREAS SHALL BE HYDRO-SEEDED. USE A LAWN MIX SUCH AS ONE BELOW.

USE AN ALL-PURPOSE LAWN MIX WITH:  
 50% KENTUCKY BLUEGRASS  
 30% PERENNIAL RYEGRASS  
 20% CREEPING RED FESCUE  
 AT A RATE OF 5-6 LBS/1000 SQ. FT.

IRRIGATION IS NOT PART OF THIS PLAN.

DEBRIS REMOVED FROM SITE MUST BE DISPOSED OF ACCORDING TO ALL CITY AND STATE REQUIREMENTS.

**KEYNOTES: REFER TO CORRESPONDING LETTERS ON PLAN**

- A. LAWN AREA - REFER TO GENERAL NOTES AND THE REQUIREMENTS ON THE CIVIL PLANS FOR SPECIFIC AREAS.
- B. PLANTING BED AROUND BUILDING - REFER TO SHEET LS1.2 FOR THE LANDSCAPE PLAN.
- C. INSTALL 4'X8' SECTION OF CURLEX EROSION CONTROL BLANKET OVER GRASS SEED AT THE END OF EACH CURB CUT DRAIN. STAKE DOWN SECURELY WITH 800 STAPLES.
- D. INFILTRATION BASIN WITH COCONUT MULCH AND PLANTINGS - COORDINATE WITH SITE ENGINEER.

PLANT SCHEDULE				
KEY	TREES	COMMON NAME	QUANTITY	SIZE
PS	Malus Pink Splendor	Pink Spire Crabapple	5	#25 Container
RS	Malus Red Splendor	Red Splendor Crabapple	4	#25 Container
WP	Pinus strobus	White Pine	11	8' B&B
AH	Populus tremuloides	Quaking Aspen	5	#25 Container
				SPACING
				See Plan
				See Plan
				See Plan

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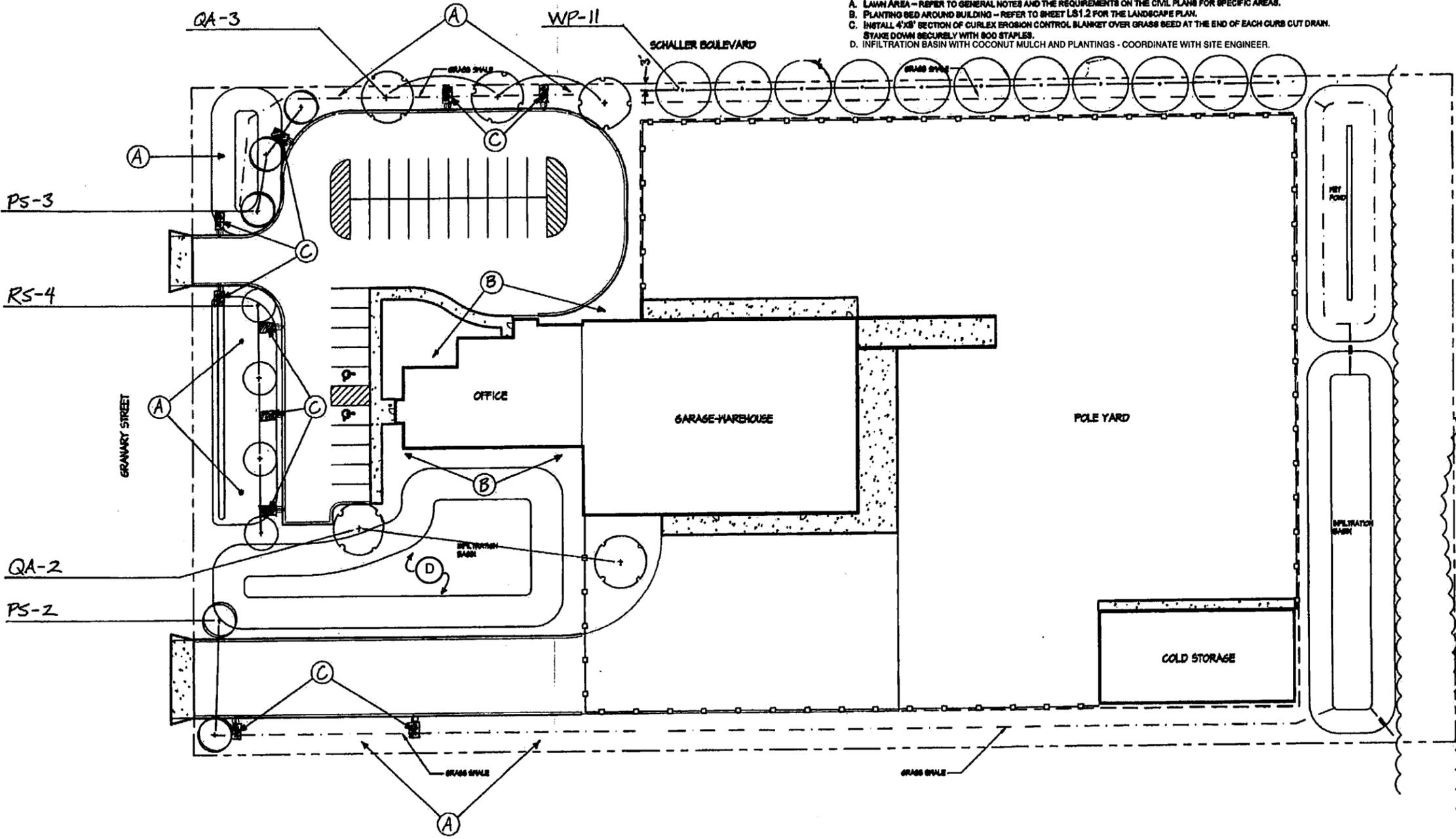
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CALL DODGE'S HOTLINE THREE DAYS BEFORE YOU DIG.  
 1-800-342-8511  
**DODGE'S HOTLINE**

**RVA**  
 RIVER VALLEY ARCHITECTS  
 2000 Black Street, Suite 104 • East Chicago, WI 53009  
 EMVISON LAND DESIGN, LLC  
 44975 - 254TH STREET  
 VALLEY SPRINGS, SD 57068  
 PH: 605-370-4323  
 www.emvisonlanddesign.com

RIVERLAND ENERGY COOP  
 PROPOSED OUTPOST  
 HOLMEN, WI



**OVERALL LANDSCAPE PLAN**  
 (LS1.1) 1" = 50'  
 0 15' 30' 60'

**SPAR REVIEW**

MARK	DATE	DESCRIPTION

DRAWN BY: RP  
 PM: LF  
 JOB NO: 18-121  
 DATE: 03.11.2019  
 OVERALL LANDSCAPE PLAN  
**LS1.1**

PLANT SCHEDULE				
KEY	SHRUBS			
CP	Barbetta thurbargii 'Crimson Pinyon'	Crimson Pinyon Barberry	13	#2 Container
BB	Euronymus alatus 'Compactus'	Dwarf Winged Burning Bush	8	#6 Container
GS	Spiraea x bumalda 'Goldflame'	Goldflame Spiraea	5	#2 Container
MJ	Juniperus scopulorum 'Medora'	Medora Juniper	6	#10 Container
PERENNIALS				
KF	Calamagrostis x sudiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	8	#1 Container
HR	Hemerocallis 'Happy Returns'	Happy Returns Daylily	10	#1 Container

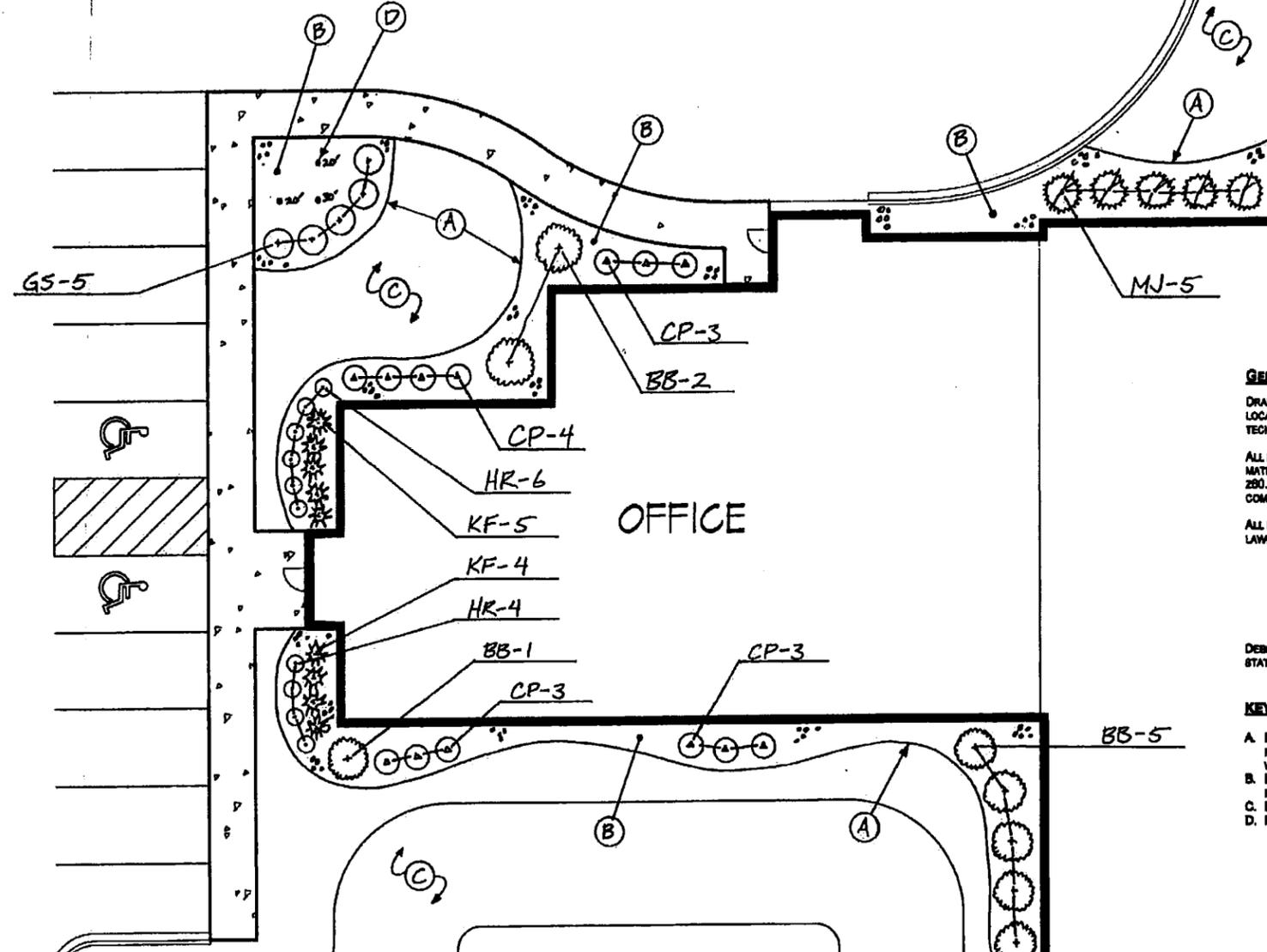
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**RVA**  
RIVER VALLEY ARCHITECTS  
2000 Rock Street, Suite 1A, East Troy, WI 53120  
www.envisionland-design.com  
ENVISION LAND DESIGN LLC  
400 E. 26th STREET  
VALLEY SPRINGS, MO 64782  
PH: 605-870-4123



**GENERAL NOTES - SHEET 2:**

DRAWING IS FOR REFERENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL PUBLIC AND PRIVATE UTILITIES AND USING PROPER CONSTRUCTION TECHNIQUES.

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USE AN ALL-PURPOSE LAWN MIX WITH:  
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30% PERENNIAL RYEGRASS  
20% CREEPING RED FESCUE  
SEED AT A RATE OF 5-6 LBS/1000 SQ. FT.

DEBRIS REMOVED FROM SITE MUST BE DISPOSED OF ACCORDING TO ALL CITY AND STATE REQUIREMENTS.

**KEYNOTES: REFER TO CORRESPONDING LETTERS ON PLAN**

- A. PROFESSIONAL GRADE BLACK PLASTIC EDGING SHALL BE USED TO EDGE ALL PLANTING BEDS THAT DO NOT MEET THE SIDEWALK. EDGING SHALL BE STAKED WITH METAL STAKES.
- B. INSTALL 1 1/2" RIVER ROCK MULCH OVER PROFESSIONAL GRADE LANDSCAPE FABRIC IN ALL PLANTING BEDS.
- C. LAWN AREA - REFER TO GENERAL NOTES.
- D. PROPOSED FLAGPOLES; ONE 30' TALL AND TWO 20' TALL

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CALL DODDER'S HOTLINE THREE WORK DAYS BEFORE YOU DIG.

1-800-243-8811

**DODDER'S HOTLINE**

**NORTH**

**ENLARGED LANDSCAPE PLAN**

LS1.2 1" = 10'

RIVERLAND ENERGY COOP  
PROPOSED OUTPOST  
HOLMEN, WI

DATE	DESCRIPTION

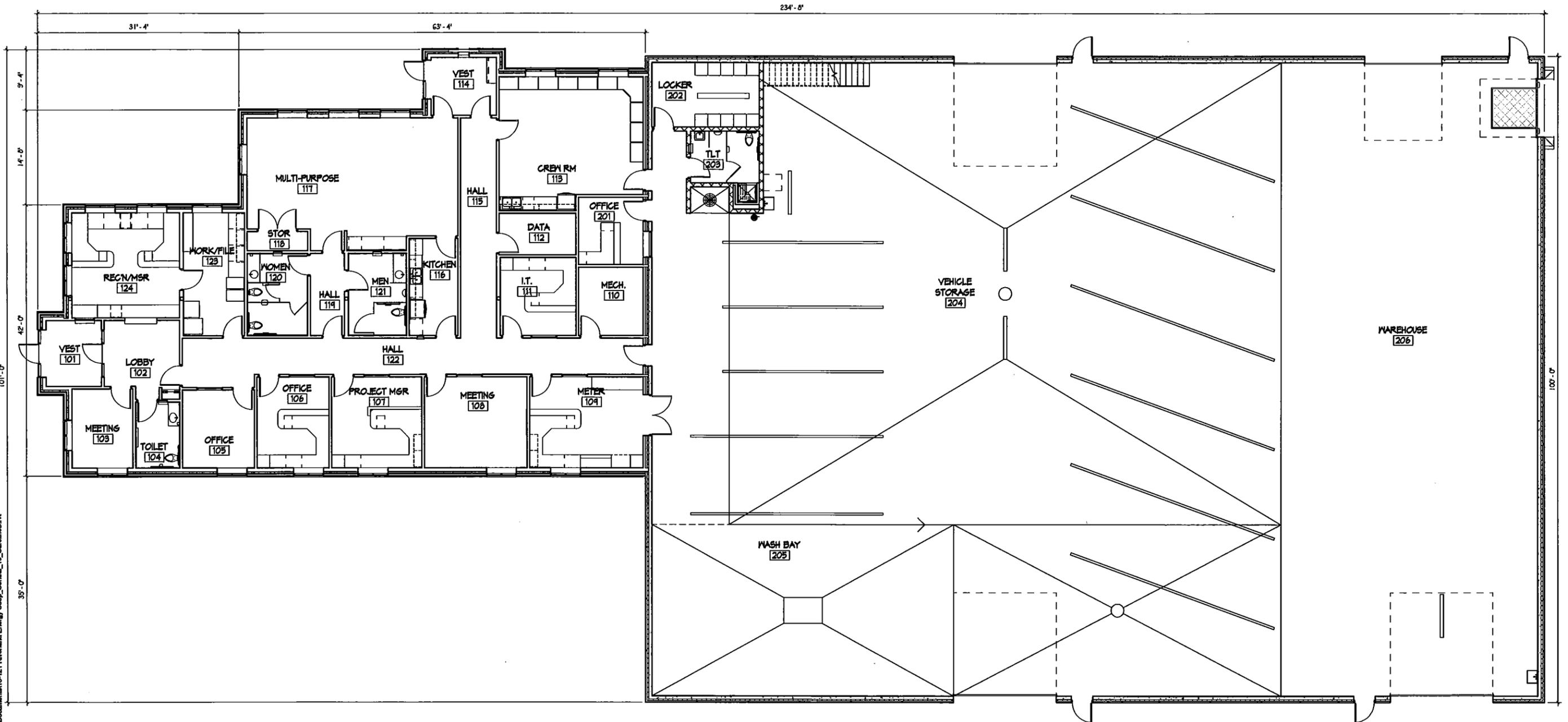
SPAR REVIEW

DRAWN BY: RP  
PH: LF  
JOB NO: 18-121  
DATE: 03.11.2019

OVERALL LANDSCAPE PLAN

LS1.2

3/11/2019 2:59:48 PM C:\Users\CarolineB\Documents\18-121 Riverland Energy Coop\_Central\_19\_CarolineB.rvt

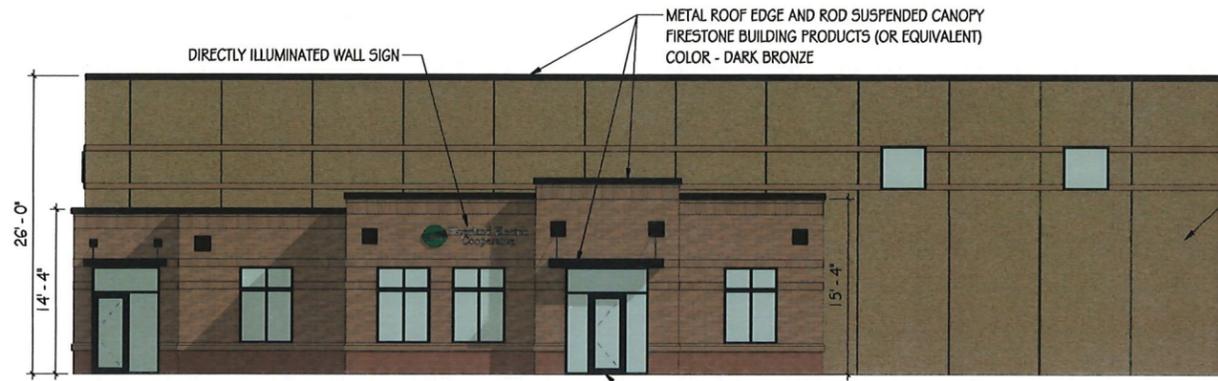


**1 OVERALL FLOOR PLAN**  
 NORTH **A1**  
 1/8" = 1'-0"  
 OFFICE = 5,075 SQ. FT.  
 SERVICE CENTER = 14,000 SQ. FT.  
 BUILDING TOTAL = 19,075 SQ. FT.

MARK	DATE	DESCRIPTION

DRAWN BY: CMB  
 PM: LP  
 JOB NO: 18-121  
 DATE: 03.11.2019  
 FLOOR PLAN  
**A1**

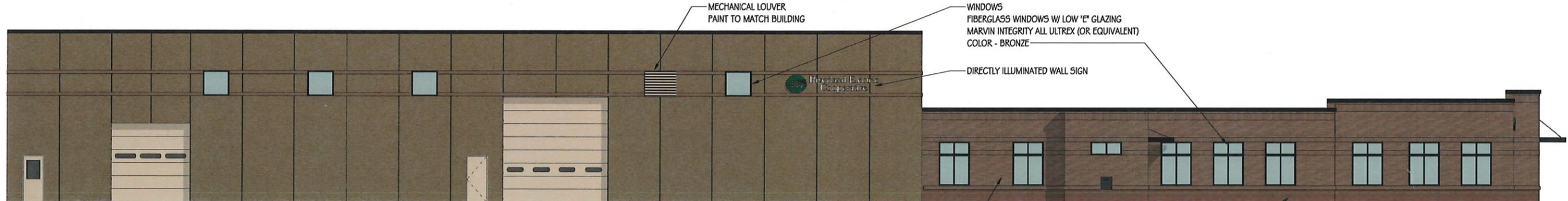
SPAR REVIEW



1 NORTH ELEVATION  
A2  
1/8" = 1'-0"

ALUMINUM STOREFRONT ENTRANCE SYSTEM  
KAWNEER (OR EQUIVALENT)  
COLOR - DARK BRONZE

PRECAST PANEL  
FABCON PRECAST VERSACORE + GREEN (OR EQUIVALENT)  
CUSTOME CEMENT, AGGREGATE AND TINTED PIGMENT TO COMPLIMENT BRICK COLOR



2 EAST ELEVATION  
A2  
1/8" = 1'-0"

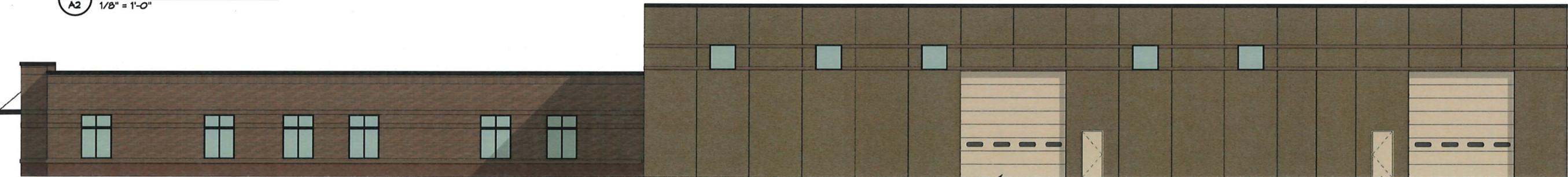
BRICK  
BOWERSTONE OHIO QUALITY BRICK (OR EQUIVALENT)  
CHOCOLATE WIRE CUT FULL RANGE UTILITY



SPLIT FACE CONCRETE MASONRY VENEER  
COUNTY MATERIALS CORPORATION (OR EQUIVALENT)  
16"x8" SPLIT FACE VENEER  
12-040A WASHED SUEDE



3 SOUTH ELEVATION  
A2  
1/8" = 1'-0"



4 WEST ELEVATION  
A2  
1/8" = 1'-0"

OVERHEAD DOORS  
OVERHEAD DOOR CORPORATION (OR EQUIVALENT)  
HEAVY DUTY THERMACORE DOORS  
COLOR - TAN

HOLLOW METAL DOORS AND FRAMES  
PAINTED TO MATCH OVERHEAD DOORS

MARK	DATE	DESCRIPTION

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DATE: 03.11.2019  
EXTERIOR ELEVATIONS

SPAR REVIEW



RIVERLAND ENERGY COOP  
PROPOSED OUTPOST  
HOLMEN, WI

MARK	DATE	DESCRIPTION

DRAWN BY: Author  
 PM: LP  
 JOB NO: 18-121  
 DATE: 03.11.2019

3D RENDER  
 A3

SPAR REVIEW



**RIVERLAND ENERGY COOP  
PROPOSED OUTPOST  
HOLMEN, WI**

MARK	DATE	DESCRIPTION

DRAWN BY: CMB  
PM: LP  
JOB NO: 18-121  
DATE: 03.11.2019

3D RENDER  
**A4**

**SPAR REVIEW**



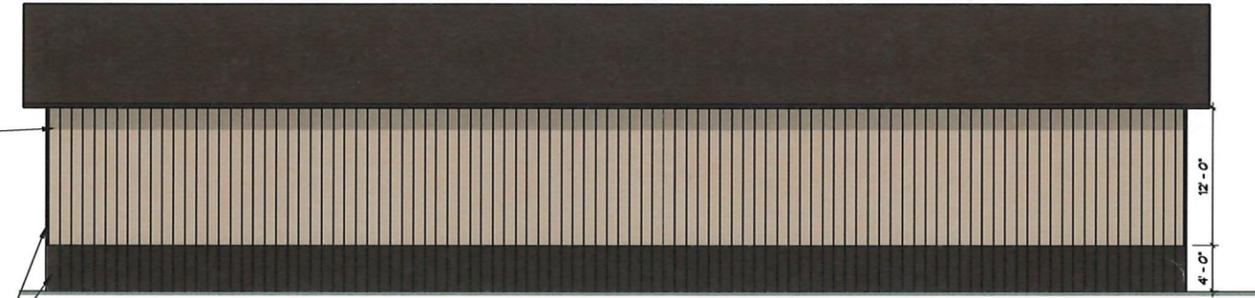
1 NORTH ELEVATION  
A5 1/8" = 1'-0"



2 EAST ELEVATION  
A5 1/8" = 1'-0"



3 SOUTH ELEVATION  
A5 1/8" = 1'-0"

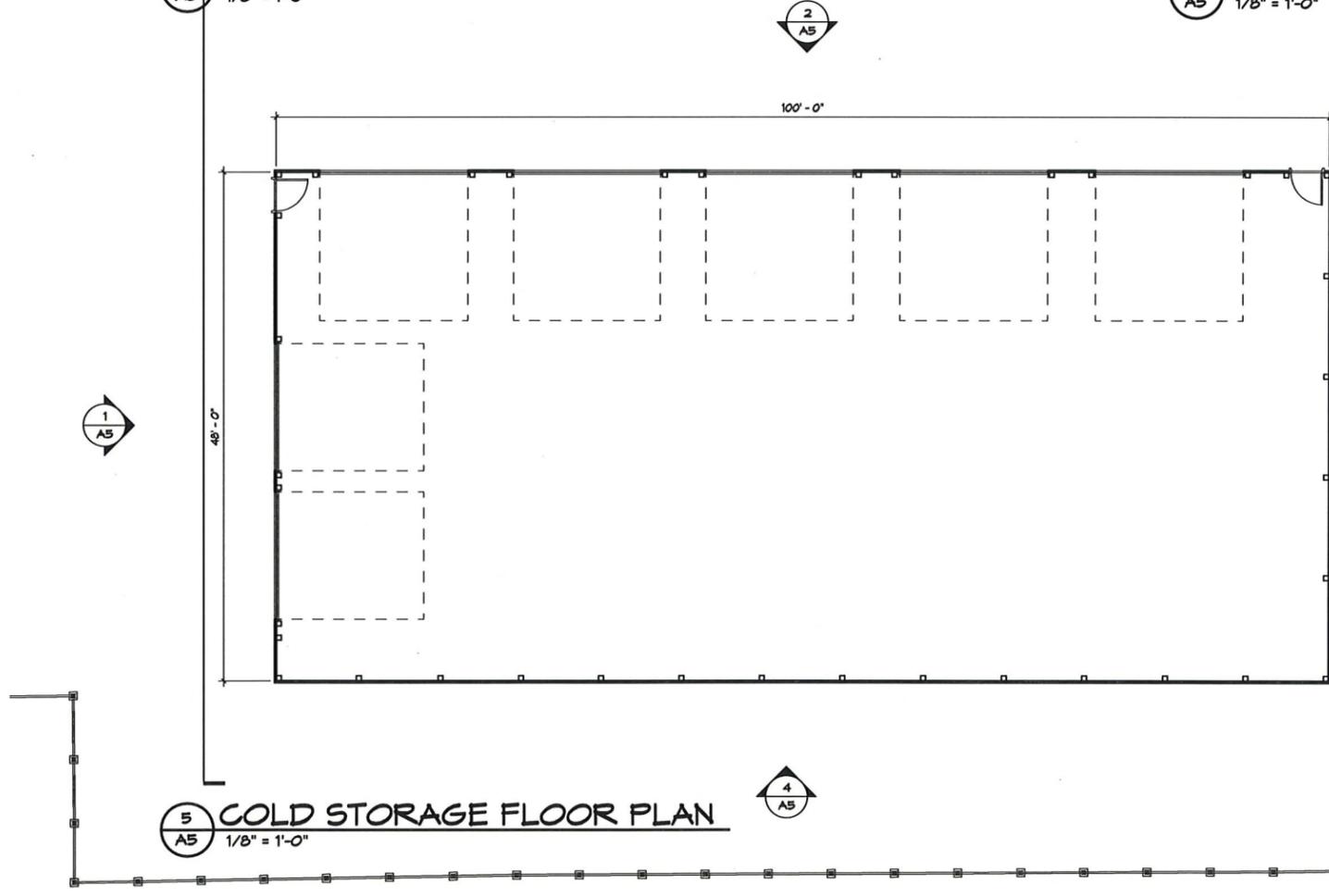


4 WEST ELEVATION  
A5 1/8" = 1'-0"

BURNISHED SLATE  
SR 28 SRI 27  
METAL WALL ROOF PANELS  
UNITED STEEL SUPPLY  
(OR EQUIVALENT)  
COLOR - BURNISHED SLATE

LIGHT STONE  
SR 50 SRI 57  
METAL WALL PANELS  
UNITED STEEL SUPPLY  
(OR EQUIVALENT)  
COLOR - LIGHT STONE

BURNISHED SLATE  
SR 28 SRI 27  
METAL WALL PANELS AND TRIM  
UNITED STEEL SUPPLY  
(OR EQUIVALENT)  
COLOR - BURNISHED SLATE



5 COLD STORAGE FLOOR PLAN  
A5 1/8" = 1'-0"

PROPERTY LINE



BOUNDARY FENCE  
SUPERIOR PRIVACY FENCE  
(OR EQUIVALENT)  
6'-0" HIGH X 8'-0" WIDE SECTIONS  
COLOR - TAN

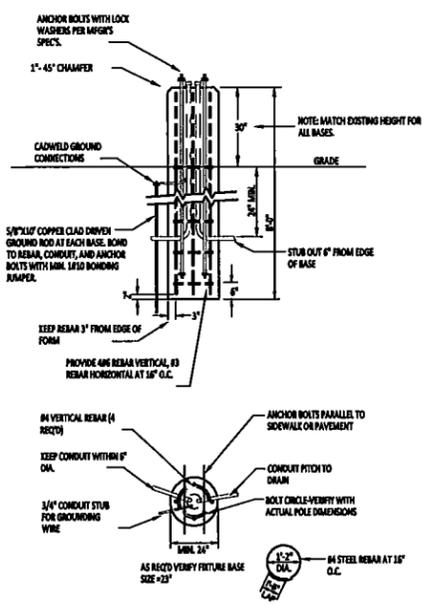
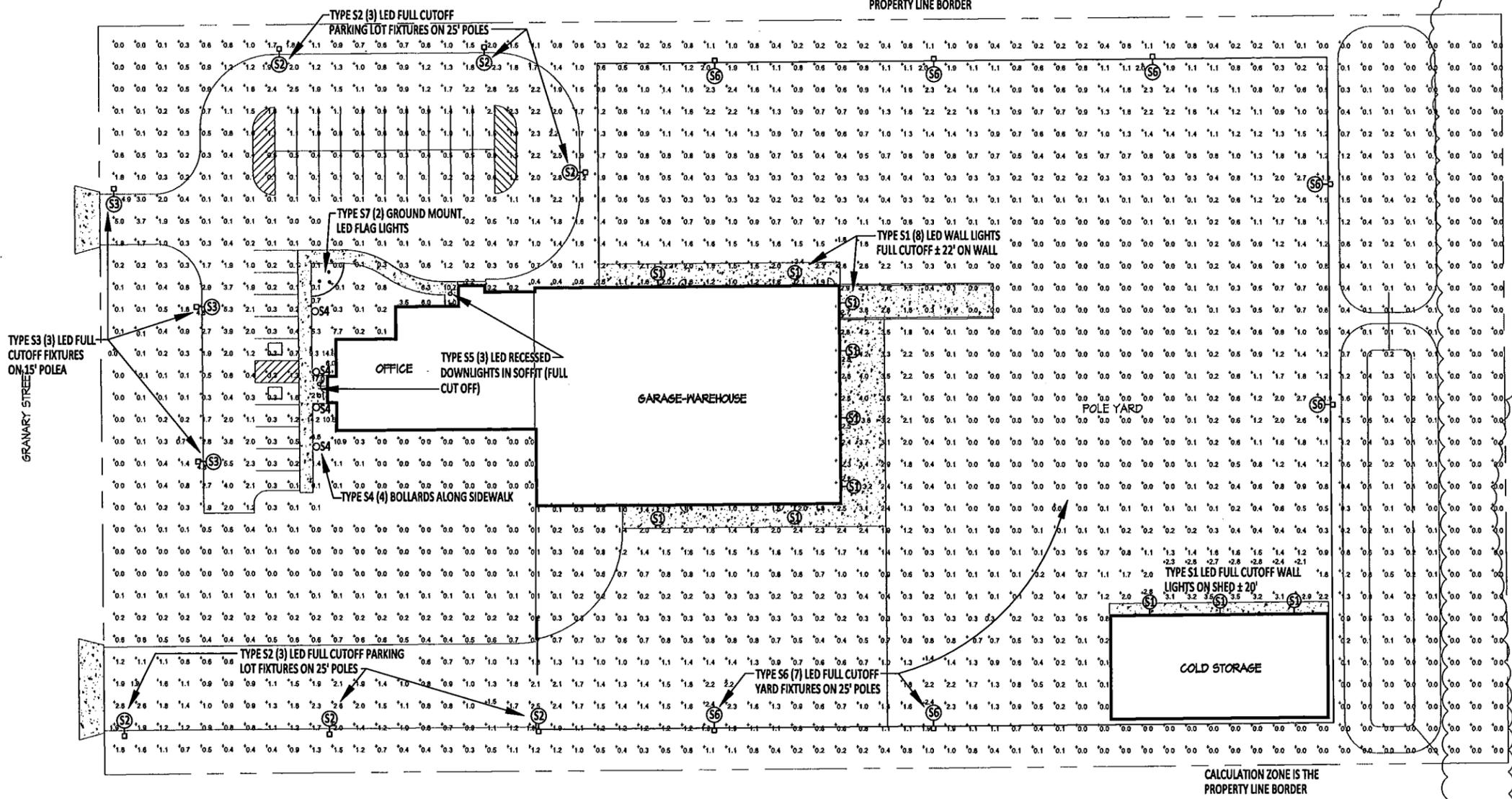
MARK	DATE	DESCRIPTION

DRAWN BY: CMB  
PM:  
JOB NO: 18-121  
DATE: 03.11.2019  
COLD STORAGE  
ELEVATIONS

SPAR REVIEW

SCHALLER BOULEVARD

CALCULATION ZONE IS THE PROPERTY LINE BORDER



**2 CONCRETE POLE BASE DETAILS**  
E1.0 NO SCALE

BASES FOR: TYPE S2, S3 AND S4 FIXTURES

- NOTE:
- 1) USE MFG'S DIMENSIONS FOR EXACT ANCHOR BOLT AND COVER PLACEMENT.
  - 2) INSTALL INRINE FUSES IN EACH UNGROUNDED CONDUCTOR WITHIN POLE BASE HAND HOLE.
  - 3) TROWEL FINISH EXPOSED PORTION OF BASE TO REMOVE/COVER FORM MARKS.

**1 SITE PLAN**  
E1.0 1" = 30'-0"

Planning Commission

March 26, 2019

Name

Address

Tim Holtan  
Dean Sansella  
Pat Barlow  
DEAN McFUGH  
Pat McKnight

Blair,  
Whitell  
907 Dana Ln Helmer  
47010 Evergreen Way  
Caullee Couvier