

**Village of Holmen  
Planning Commission Minutes  
July 30, 2019**

Village President Barlow called the Planning Commission meeting to order at 6:30PM on Tuesday, July 29, 2019. Present were commission members Barlow, Kertis, Stanek, Rugroden, Anderson, Appold, and Grokowsky; along with advisory members Administrator Heinig and Engineer Dahl. Also in attendance: Dean McHugh, Paul Borsheim, Gary Schettle, David Quamme, Chris Henshue, Dan Mueller, and Jeff Moorehouse.

**Public Hearings:**

**Rezoning Petition, from ALT Investments, LLC, for the rezoning of approximately 40 acres immediately West of Schaller Blvd and immediately North of Hwy. 35, from Agricultural District (A) to General Business District (B-2).**

**Motion by Appold, seconded by Rugroden** to open the public hearing for the above referenced item. Carried 7-0:

Dan Mueller asked what will be done in the development. Administrator Heinig stated that that can't be answered during the public comment period, however some information would be provided while addressing the agenda items for the same property.

**Motion by Stanek, seconded by Grokowsky** to close the public hearing, as no other concerns or comments were made. Motion carried 7-0.

**Approval of the June 25, 2019 Minutes:**

**Motion by Anderson, seconded by Grokowsky** to approve the minutes of the June 25, 2019 Meeting. Carried 7-0.

**Public comment:**

None

**Agenda Items:**

**Possible Action and Recommendation on Rezoning Petition, from ALT Investments, LLC, for the rezoning of approximately 40 acres immediately West of Schaller Blvd and immediately North of Hwy. 35, from Agricultural District (A) to General Business District (B-2).**

Administrator Heinig outlined the rezoning petition by ALT Investments, LLC. He stated the request to rezone from agriculture to B-2 general business is comp plan compliant and consistent with Holmen's growth plan. He stated that he had no concerns and recommended its approval.

Member Stanek asked what potential businesses or business types would go into this development. Administrator Heinig stated that that can be discussed with the upcoming preliminary plat item.

**Motion by Anderson, seconded by Appold** to recommend approval of the Rezoning Petition, from ALT Investments, LLC, for the rezoning of approximately 40 acres immediately West of Schaller Blvd and immediately North of Hwy. 35, from Agricultural District (A) to General Business District (B-2). Carried 7-0.

**Possible Action and Recommendation on Temte Subdivision Preliminary Plat, from ALT Investments, LLC, immediately West of Schaller Blvd and immediately North of Hwy. 35.**

Administrator Heinig explained that this plat includes the area previously discussed for rezoning as well as approximately 20 acres located west of Rotterdam Avenue. The portion west of Rotterdam Avenue will remain in one large parcel and stay in the agricultural district for the time being. This plat divides the area between Rotterdam Avenue and Schaller Boulevard into 6 lots approximately 5 acres each. The remainder of the plat is public right of way, stormwater retention, and greenspace. Because of the large lot sizes it is likely they will be divided or combined by CSM so additional utility service laterals will be provided for future connection points. He explained that Rotterdam Avenue and Tempte Street will have 80 foot right of ways and will be constructed with this plat. He explained the Rotterdam cross section, amenities and the connectivity between McGilvray Park to the south and King's Bluff Industrial to the north. He stated that lot 4 of this plat has a commercial interest already, but can't disclose the name of the party. He also stated that there has been a good volume of development interest in the Schaller/STH 35 intersection area.

**Motion by Stanek, seconded by Rugroden** to recommend approval of the Temte Subdivision Preliminary Plat, from ALT Investments, LLC, immediately West of Schaller Blvd and immediately North of Hwy. 35. Carried 7-0.

**Possible Action on Petition for Site Plan & Architectural Review (SPAR) from Bug Tussel Wireless for new Cell Tower on Hwy HD.**

Administrator Heinig explained the location of the proposed tower. He stated that it was moved from its initial proposed location on the west side of Hwy HD to the east side of Hwy HD and abutting the bluff. This move preserves the building corridor and the future extension of Briggs Road on the west side of Hwy HD. He explained the proposal will gain access to Hwy HD which will need the approval of the County. He stated that the purpose of this review was not about the tower itself, but about the site plan requirements for it. He stated they have provided fencing to screen the footprint of the tower and have provided the appropriate amount of landscaping for the square footage of improvement.

Member Stanek asked what is the height of the tower. Administrator Heinig stated it was 195' and no beacon would be required.

Member Grokowsky asked if it were in the flight path and if there was a concern of the tower affecting the aesthetic beauty of the bluff. Administrator Heinig stated that is was not in the flight path and the tower's location is a good compromise.

**Motion by Stanek, seconded by Rugroden** to approve the Site Plan & Architectural Review (SPAR) from Bug Tussel Wireless for new Cell Tower on Hwy HD. Finding that the purposes and guidelines of the SPAR Ordinance have been reasonably met, regarding the proposed site plan, external colors, and site landscaping Carried 7-0.

**Possible Action on Petition for Site Plan & Architectural Review (SPAR) from Holmen Lutheran Church for a Building Addition at 228 Morris Street.**

Administrator Heinig stated that this review is for a small addition and a covered pull up/drop off area. Material selections will match the existing exterior of the church. The proposed overhang is cantilevered so no footings are located in the building setback area along the street. The total square footage added is small and therefore the landscaping requirement is minimal. The lighting is basic, located under the entry way and on the side of the building. He stated the requirements for materials, colors, lighting, and landscaping have been met.

**Motion by Rugroden, seconded by Stanek** to approve the Site Plan & Architectural Review (SPAR) from Holmen Lutheran Church for a Building Addition at 228 Morris Street. Finding that the purposes and guidelines of the SPAR Ordinance have been reasonably met, regarding the proposed site plan, external building colors, site and building lighting, and site landscaping. Motion carried 7-0.

**Updates and other informational items from and before the Planning Commission:**

Administrator Heinig informed the committee that the mural ordinance language is complete and will be moving forward. He stated that more developments are in the works and will be brought to the committee soon.

Member Anderson stated that he appreciated the compromise reached for the location of the Bug Tussel tower.

Member Stanek asked Engineer Dahl on the status of the waste water treatment plant project. Engineer Dahl stated the project is on schedule; several of the building shells are complete or near complete; work on the underground utilities and electrical connections is underway.

Member Barlow stated that a public informational meeting for the County Highway SN reconstruction will be held Tuesday August 6<sup>th</sup> from 4-6pm at the public library.

**Adjourn:**

**Motion by Appold, seconded by Rugroden** to adjourn at 7:00 pm. Carried 7-0.

Village of Holmen  
La Crosse County, WI

Notice of Public Hearing on a Change of Zoning (Rezoning) Petition

NOTICE IS HEREBY GIVEN that the Holmen Village Planning Commission will hold a Public Hearing during their Regular Meeting in the Holmen Village Hall, at 421 S. Main Street, Holmen, WI, 54636, on the 30<sup>th</sup> day of July, 2019, at 6:30pm, on the proposed Change of Zoning (Rezoning) Petition as follows:

ALT Investments, LLC (owner) is petitioning for a rezone of approximately 40 acres on property immediately West of Schaller Blvd and immediately North of Hwy. 35, from (A) Agricultural District to (B-2) General Business District. The Village of Holmen Comprehensive Plan and Future Land Use designation for the property supports Commercial Uses; thus the petition is consistent with the Comprehensive Plan.

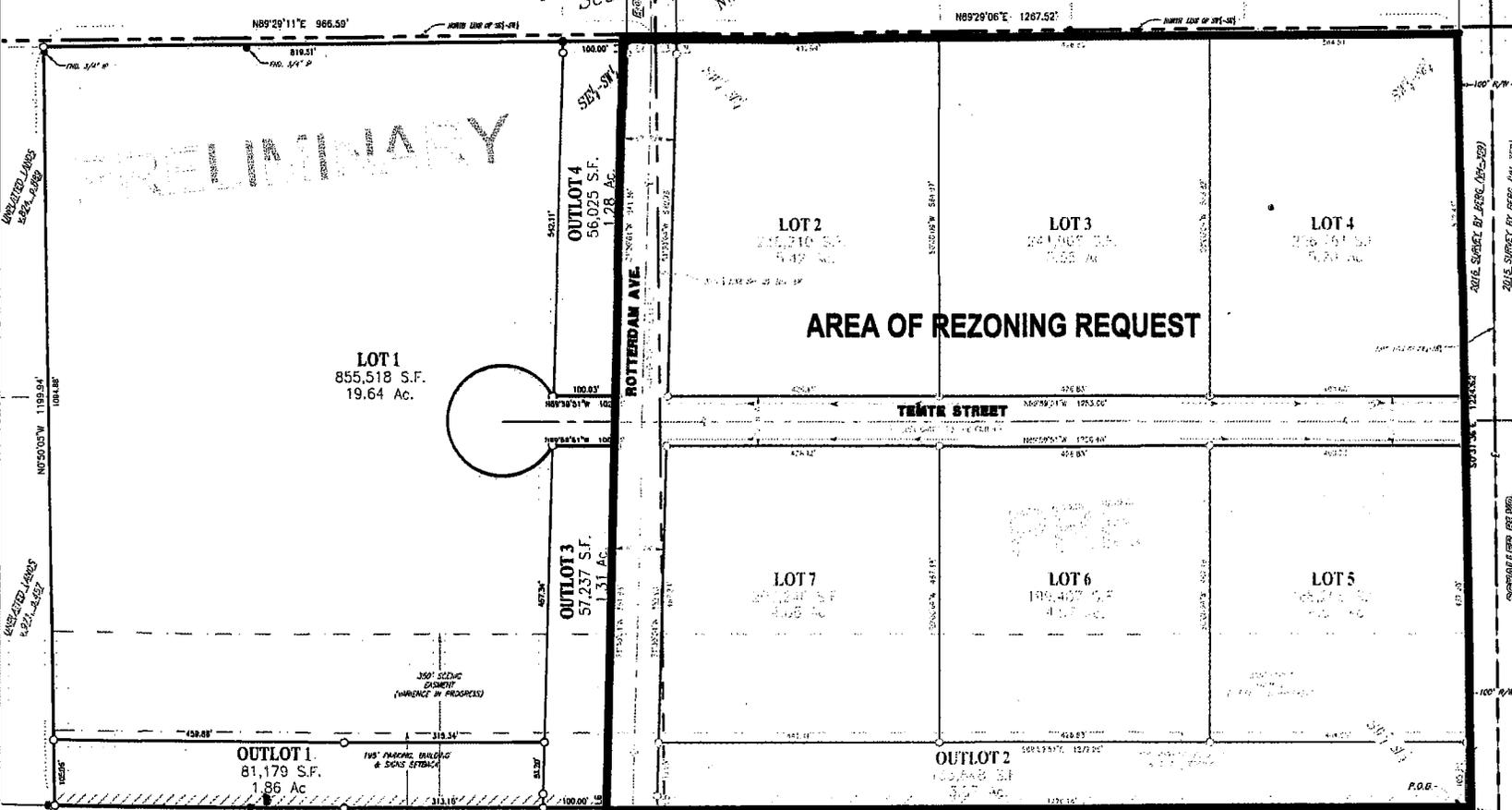
All pursuant to applicable Wisconsin Statutes and Holmen Village Ordinances, all interested parties are welcome to attend and may be heard during the public hearing. For more information prior to the public hearing, the petition is on file at the office of the Holmen Village Clerk, La Crosse County, Wisconsin, 421 Main Street, 54636, or you may contact the Village Administrator at 608-526-4336.

HOLMEN VILLAGE BOARD  
BY: Scott Heinig, Village Administrator

To be published: July 19 and July 20

**TEMTE SUBDIVISION PLAT**

PARTS OF THE SW 1/4 OF THE SE 1/4 AND THE SE 1/4 OF THE SW 1/4, SECTION 26, T18N, R9W, VILLAGE OF HOLMEN, LA CROSSE COUNTY, WISCONSIN

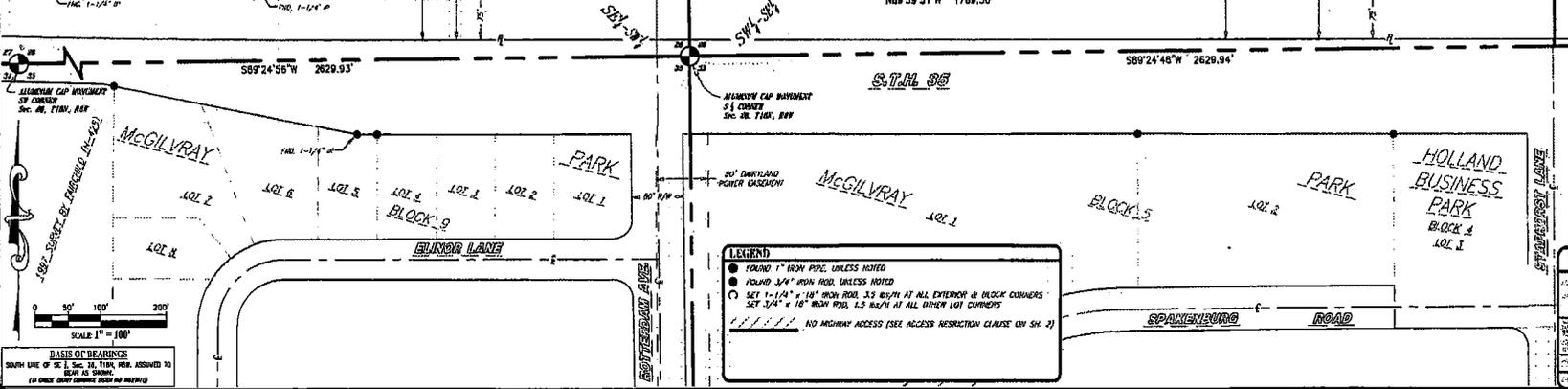
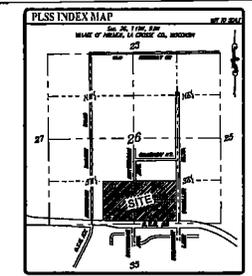


**AREA OF REZONING REQUEST**

There are no objections to this plat with respect to Secs. 236.13, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

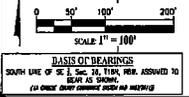
Certified \_\_\_\_\_ 20  
Department of Administration

1988 SURVEY BY DEEDERSON (L-128)  
1988 SURVEY BY DEEDERSON (L-128)



**LEGEND**  
 ● ROUND 1" IRON PIPE, UNLESS NOTED  
 ○ ROUND 3/4" IRON PIPE, UNLESS NOTED  
 ○ SET 1-1/4" x 18" IRON ROD, 3.3 IN/FT AT ALL EXTERIOR & BLOCK CORNERS  
 ○ SET 3/4" x 18" IRON ROD, 1.5 IN/FT AT ALL OTHER LOT CORNERS  
 --- NO HIGHWAY ACCESS (SEE ACCESS RESTRICTION CLAUSE ON SH 2)

**PRELIMINARY PLAT**  
 PREPARED BY: ALT INVESTMENTS LLC  
 2024 STATE ROAD 35  
 HOLMEN, WI 54638  
 PARTS OF THE SW 1/4 OF THE SE 1/4 AND THE SE 1/4 OF THE SW 1/4 OF THE SW 1/4, SECTION 26, T18N, R9W, VILLAGE OF HOLMEN, LA CROSSE COUNTY, WISCONSIN  
 SCALE: 1" = 100'  
 DRAWN BY: R.C.J.  
 CHECKED BY: J.K.S.  
 DATE: 05/24/2019



June 27, 2019

Scott A. Heinig, Village of Holmen Administrator  
P.O. Box 158  
421 S. Main Street  
Holmen, WI 54636  
(p) (608) 526-6305

Re: Request for Review of Preliminary Plat and Rezoning of Lands

Dear Mr. Heinig,

On behalf of ALT Investments, LLC (ALT) I hereby request review and approval of a preliminary plat of the lands owned by ALT. As you are aware, our property is part of the Commercial/Industrial lands being served by the construction of Schaller Boulevard. As such, our plan is to subdivide and make available for development the 65 acres in the southwest of that developing area. We are transmitting with this request letter the preliminary plans for the plat and required improvements. We are providing as much detail as we can with this submittal to assist in the review of this subdivision request. We will continue to refine the project during the time covered by your review and may provide updated plans as they are available. We appreciate the guidance Village staff has provided so far in this project and welcome any additional guidance or advice you may have concerning the improvements or reservations of lands. As part of this process, we are proposing to dedicate part the scenic easement area along Highway 35 to the public for use as green space and storm water management. We are also proposing to dedicate lands along the western side of Rotterdam Avenue to continue the greenway/storm water management corridor currently proposed north of our property. We are fully aware that storm water runoff created by the development of this property will need to be entirely managed within this property and are working to solidify the best and most efficient design for this. Designs for that are not included with this submittal but will be provided as soon as possible.

In addition to the preliminary plat, I am also requesting rezoning of the east portion of the property from agricultural zoning to B2 - Commercial. A map of the area to be rezoned as part of this request is included in our submittal.

If you or the Village staff have any questions, feel free to contact me directly. You may also speak directly to Paragon Associates for technical items. We are also transmitting with this letter, appropriate fees (\$350 for the Plat review and \$300 for the rezoning). Let me know if the fees are different than this.

Sincerely,



Andrew Temte, Managing Member  
ALT Investments, LLC  
N1669 Willow Trail  
La Crosse, WI 54601  
608.385.9050

# TEMTE SUBDIVISION PLAT

PARTS OF THE SW 1/4 OF THE SE 1/4 AND THE SE 1/4 OF THE SW 1/4, SECTION 26, T18N, R6W, VILLAGE OF HOLMEN, LA CROSSE COUNTY, WISCONSIN



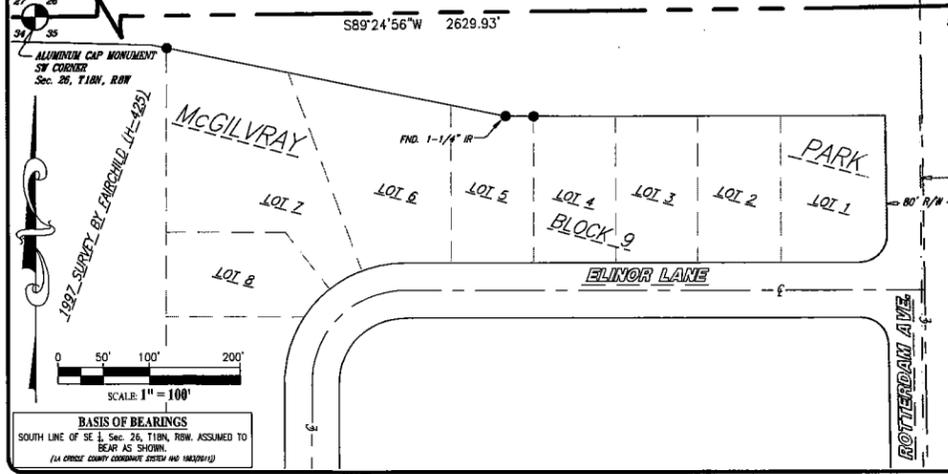
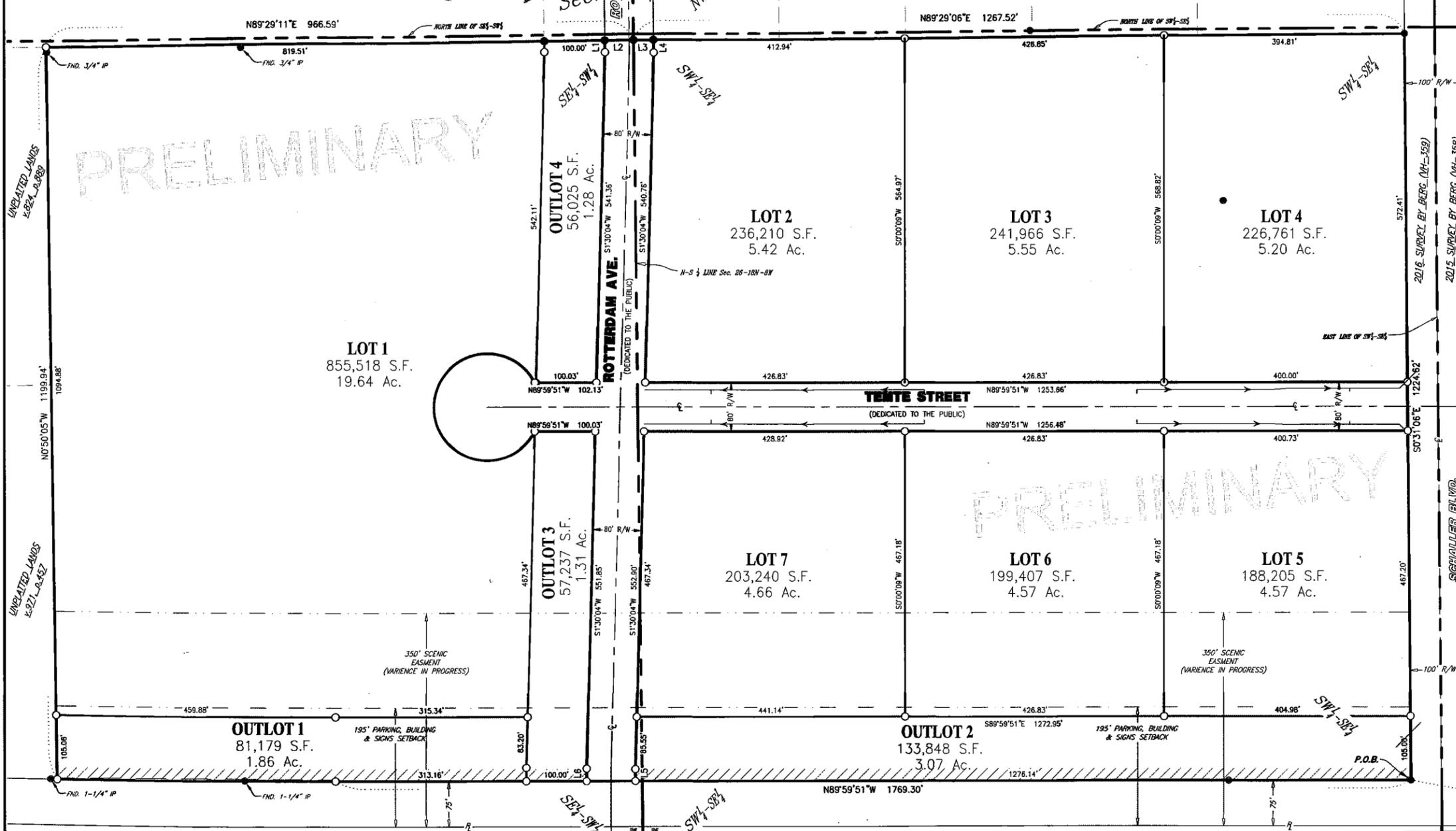
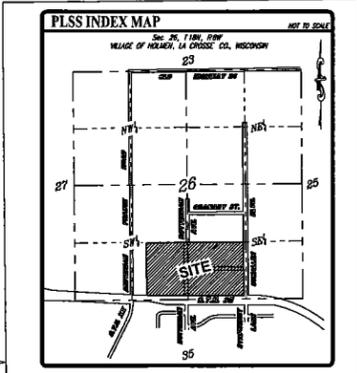
There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified \_\_\_\_\_, 20\_\_\_\_

Department of Administration

1985 SURVEY BY PEDERSON (H-378)  
1995 SURVEY BY PEDERSON (H-394)

FUTURE ROAD



**LEGEND**

- FOUND 1" IRON PIPE, UNLESS NOTED
- FOUND 3/4" IRON ROD, UNLESS NOTED
- SET 1-1/4" x 18" IRON ROD, 3.5 lbs./ft. AT ALL EXTERIOR & BLOCK CORNERS
- SET 3/4" x 18" IRON ROD, 1.5 lbs./ft. AT ALL OTHER LOT CORNERS
- //// NO HIGHWAY ACCESS (SEE ACCESS RESTRICTION CLAUSE ON SH. 2)

**BASIS OF BEARINGS**  
SOUTH LINE OF SE 1/4, Sec. 26, T18N, R6W, ASSUMED TO BEAR AS SHOWN.  
(LA CROSSE COUNTY COMMISSION 2019 AND 1822014)

**PRELIMINARY PLAT**

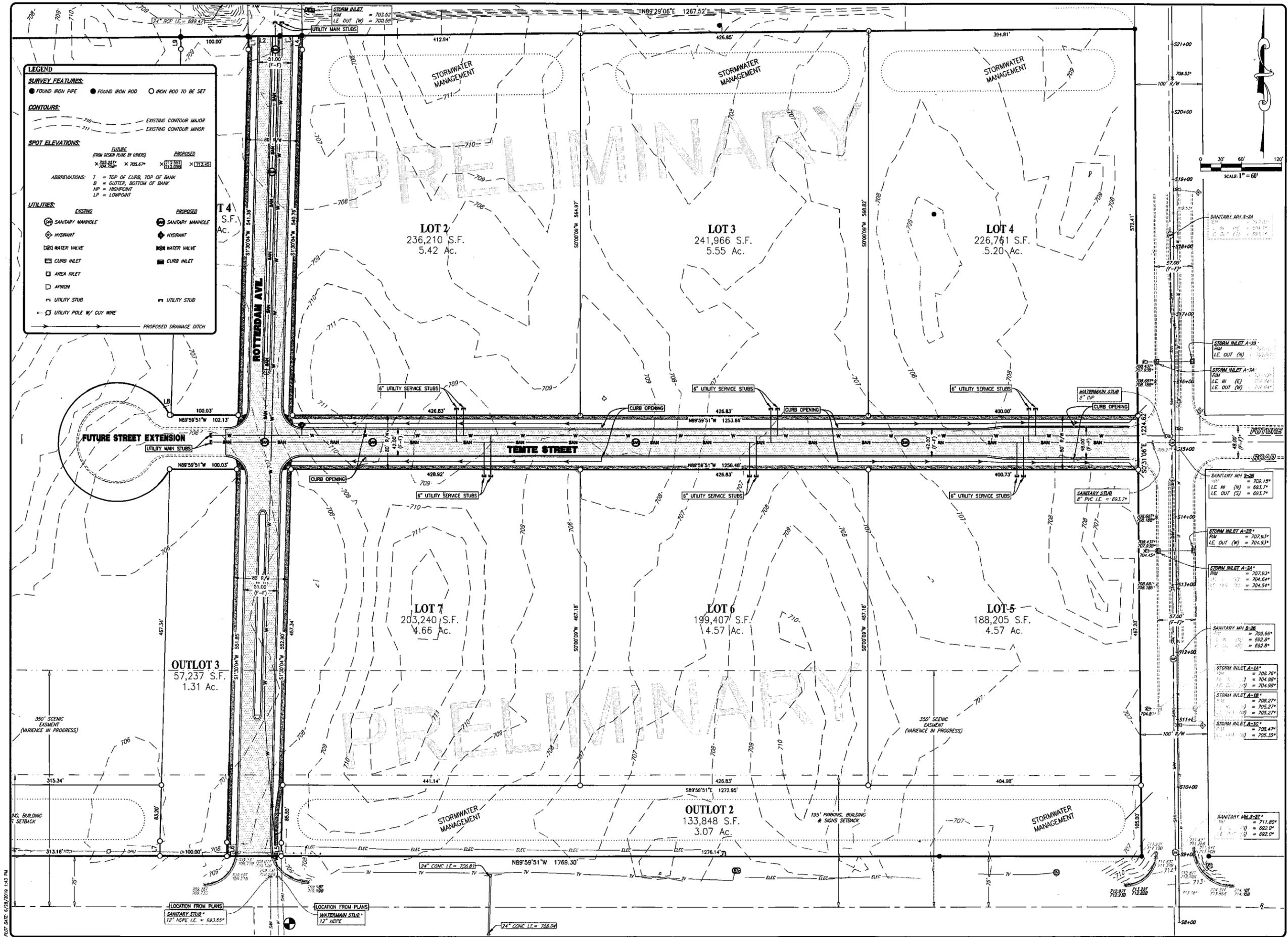
PREPARED FOR: ALT INVESTMENTS LLC

FILE ADDRESS: STATE ROAD 35, HOLMEN, WI 54636

PARTS OF THE SW 1/4 OF THE SE 1/4 AND THE SE 1/4 OF THE SW 1/4, SECTION 26, T18N, R6W, VILLAGE OF HOLMEN, LA CROSSE COUNTY, WISCONSIN

SCALE: 1" = 100' DATED BY: R.C.J. CHECKED BY: J.K.S.

PROJECT: 17-096 DATE: 05/24/2019 SHEET: 1 of 2



**LEGEND**

**SURVEY FEATURES:**  
 ● FOUND IRON PIPE ● FOUND IRON ROD ○ IRON ROD TO BE SET

**CONTOURS:**  
 - - - - - EXISTING CONTOUR MAJOR  
 - - - - - EXISTING CONTOUR MINOR

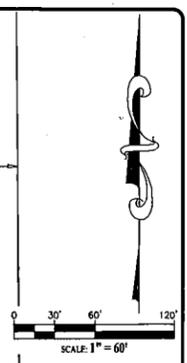
**SPOT ELEVATIONS:**  
 (FROM DESIGN PLANS BY OTHERS) PROPOSED  
 X 705.67' X 705.67' X 705.67' X 705.67'

**ABBREVIATIONS:**  
 T = TOP OF CURB, TOP OF BANK  
 B = BOTTOM, BOTTOM OF BANK  
 HP = HIGHPOINT  
 LP = LOWPOINT

**UTILITIES:**

| EXISTING                   | PROPOSED                   |
|----------------------------|----------------------------|
| ○ SANITARY MANHOLE         | ● SANITARY MANHOLE         |
| ○ HYDRANT                  | ● HYDRANT                  |
| ○ WATER VALVE              | ● WATER VALVE              |
| □ CURB INLET               | ■ CURB INLET               |
| □ AREA INLET               | ■ AREA INLET               |
| □ APRON                    | ■ APRON                    |
| — UTILITY STUB             | — UTILITY STUB             |
| — UTILITY POLE W/ CUT WIRE | — UTILITY POLE W/ CUT WIRE |

→ PROPOSED DRAINAGE DITCH



REVISIONS:

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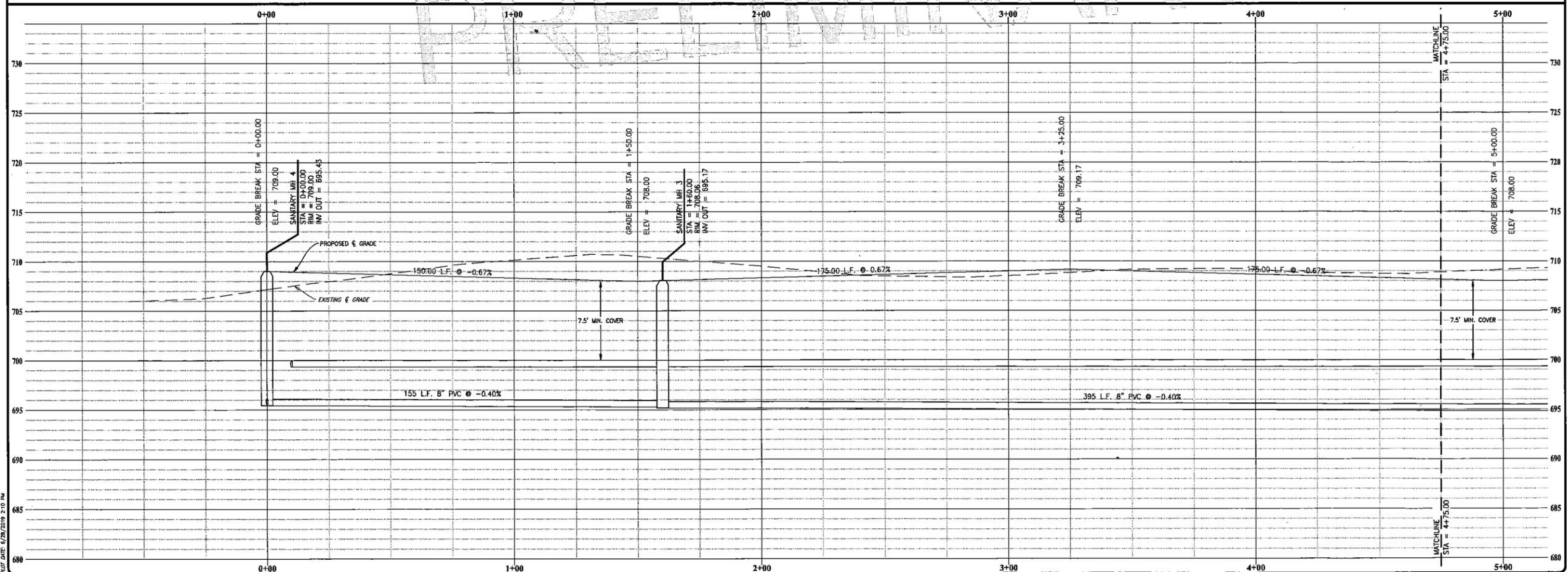
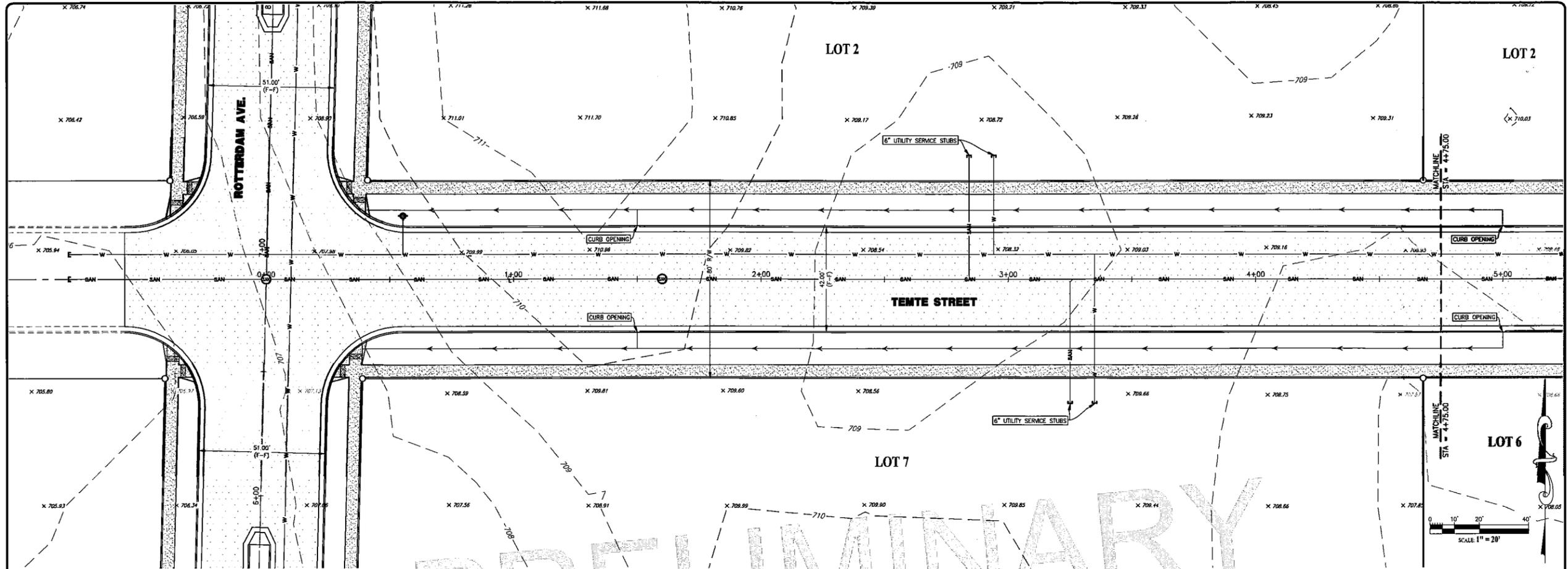
**PARAGON ASSOCIATES**  
 Environmental Design & Consulting  
 CIVIL ENGINEERING, LANDSCAPE ARCHITECTURE, SURVEYING  
 632 COPPELAND AVENUE, LA CROSSE, WI 54603  
 TEL: 608/7813110 FAX: 608/7813197 Paragon-Assoc. Inc.

PREPARED FOR:  
**ALT INVESTMENTS LLC**

**TEMTE SUBDIVISION**  
 STATE ROAD 35  
 HOLMEN, WI 54636  
**CONCEPT PLAN - LOTS 2-4**

PROJECT No: 17-096  
 DRAWN BY: R.C.J. CHECKED BY: JM  
 DATE: 6/28/2019  
 17-096 Temte Subdivision\_07.dwg  
 SCALE: 1" = 60'  
 SHEET No: **C-1**





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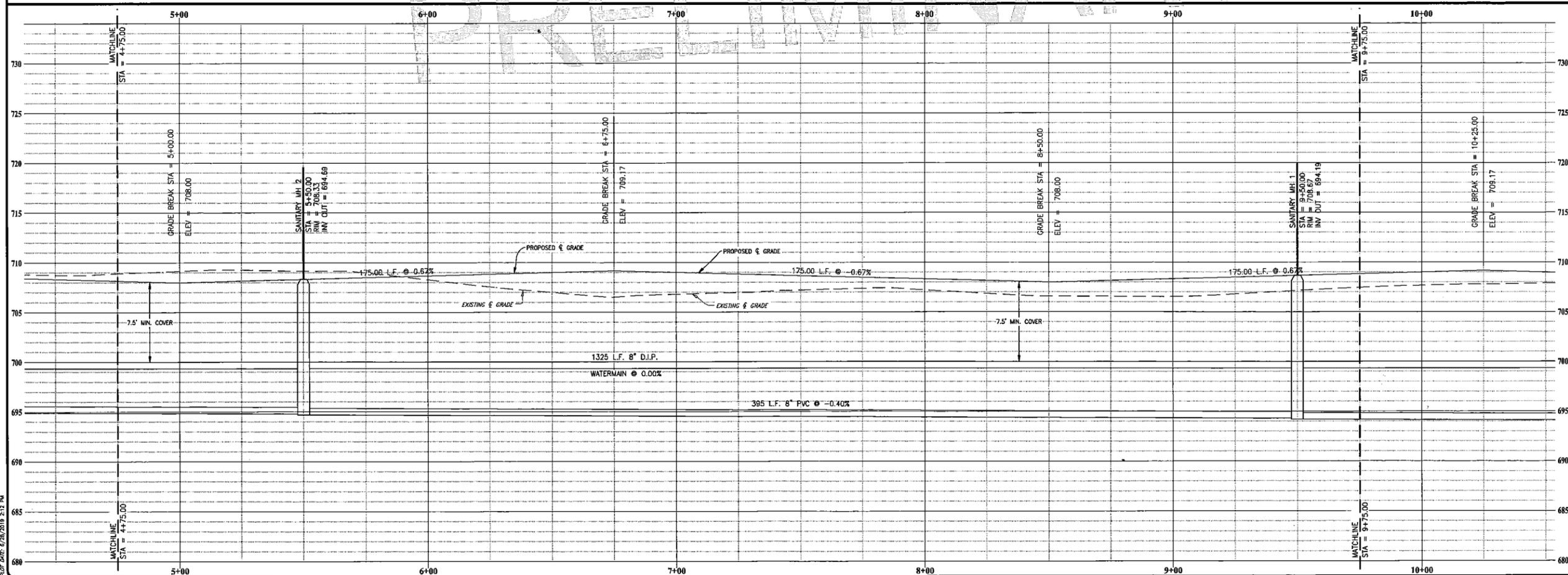
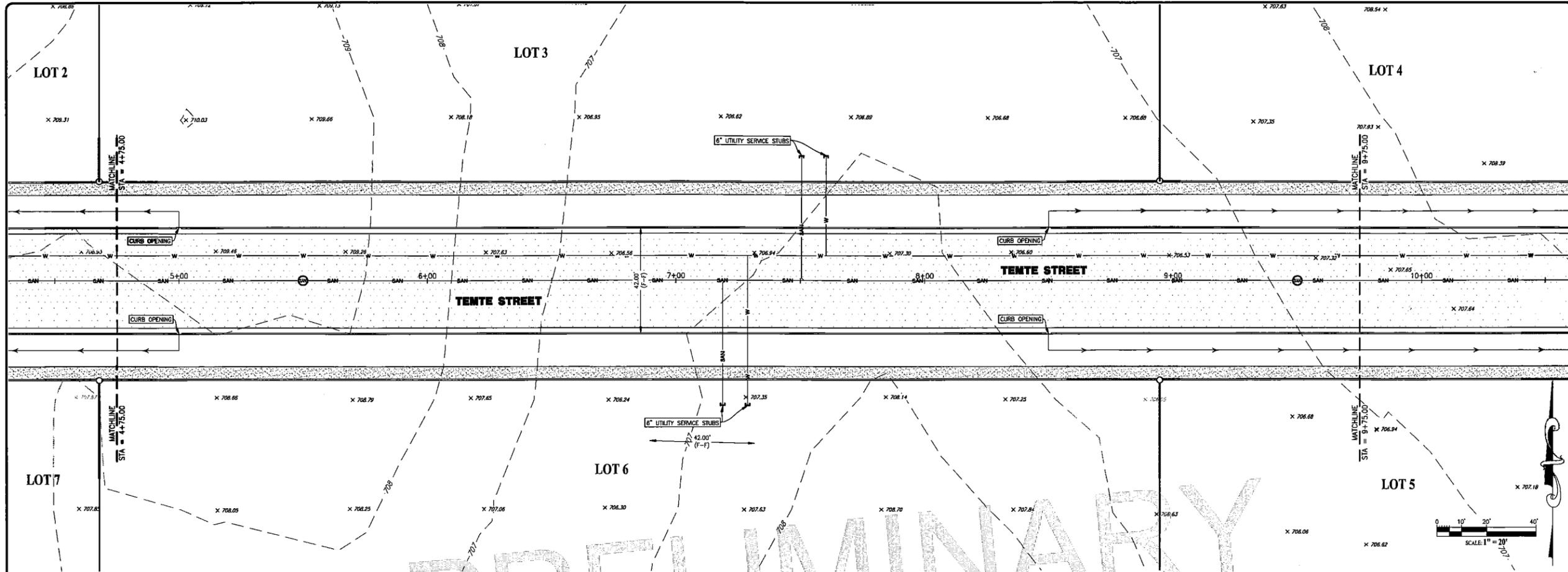
**PARAGON ASSOCIATES**  
 Environmental Design & Consulting  
 CIVIL ENGINEERING, LANDSCAPE ARCHITECTURE, SURVEYING  
 532 COPPELAND AVENUE, LA CROSSE, WI 54603  
 TEL: 608/781.3110 FAX: 608/781.3187 Paragon-associates.com

PREPARED FOR:  
**ALT INVESTMENTS**  
 LLC

**TEMTE SUBDIVISION**  
 STATE ROAD 35  
 HOLMEN, WI 54636  
**TEMTE STREET - PLAN & PROFILE**

PROJECT No:  
 17-086  
 DRAFTED BY: R.C.J. CHECKED BY: JM  
 DATE: 6/26/2019  
 CAD FILE: 17-086 Temte Subdivision\_07.dwg  
 SCALE: 1" = 20' H 1" = 5' V  
 SHEET No:  
**C600**

DATE: 6/26/2019 2:10 PM



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**PARAGON ASSOCIATES**  
 Environmental Design & Consulting  
 CIVIL ENGINEERING, LANDSCAPE ARCHITECTURE, SURVEYING  
 17-006 Temte Subdivision\_07.dwg  
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 17-006 Temte Subdivision\_07.dwg  
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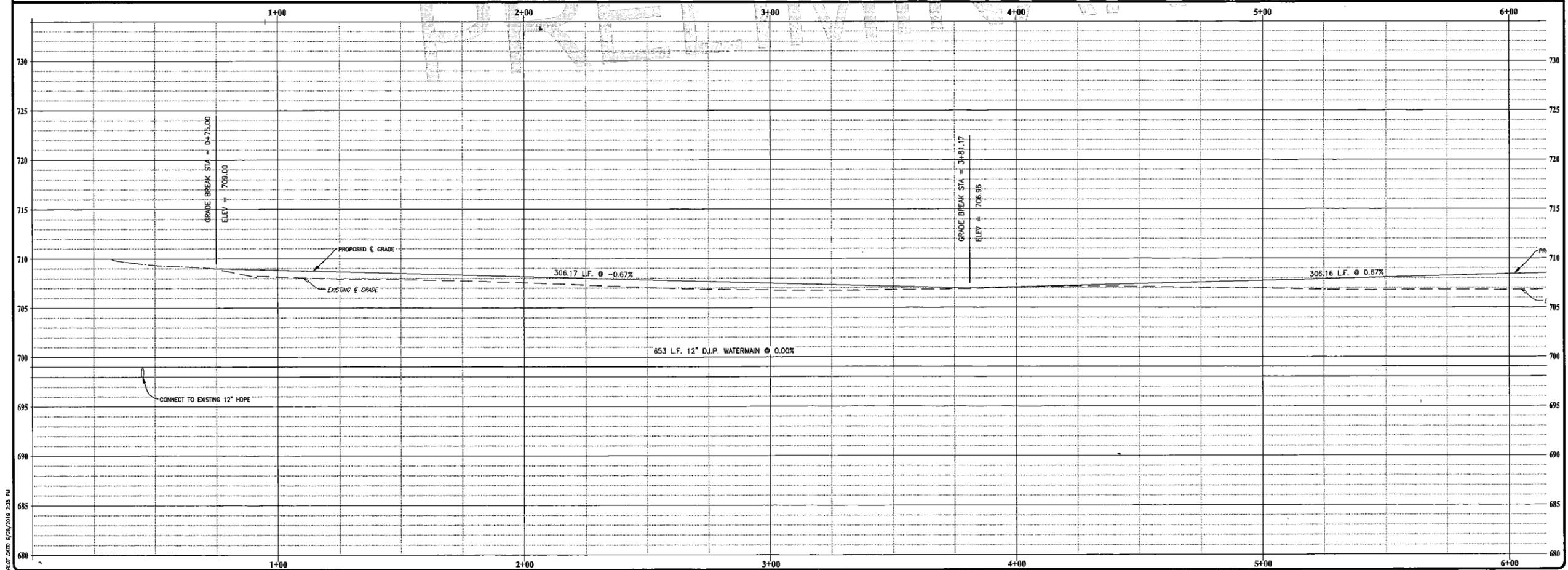
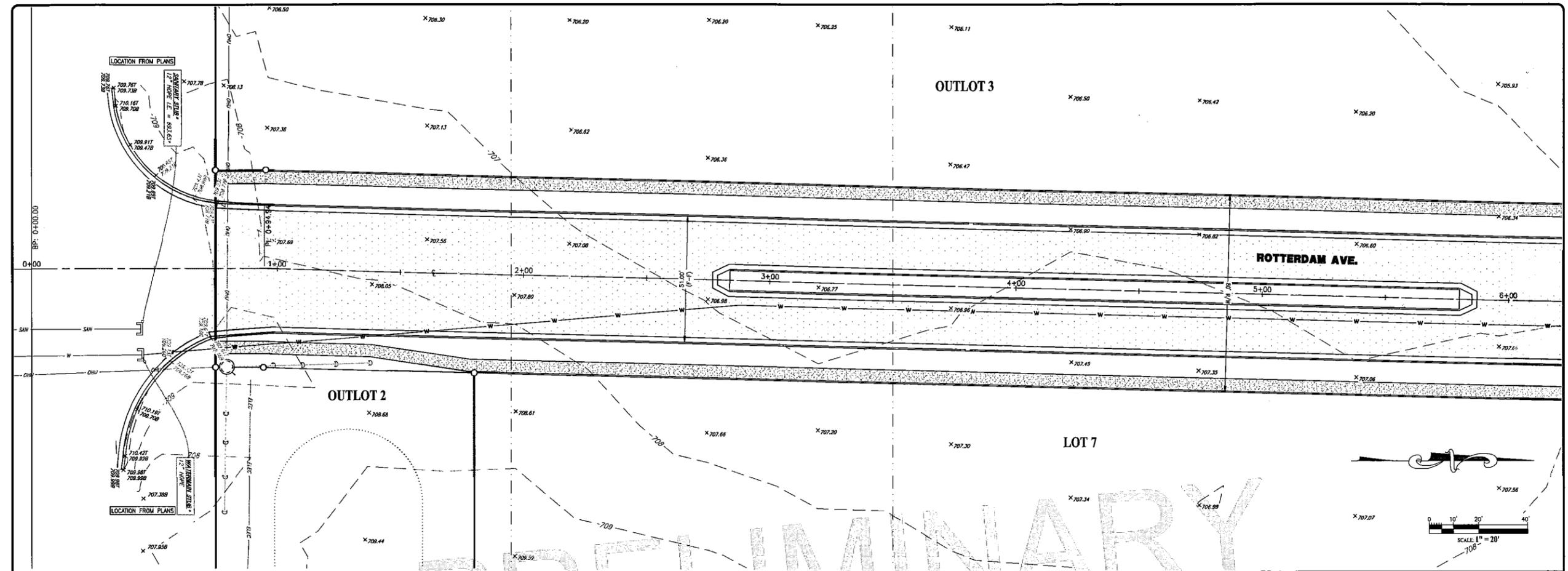
PREPARED FOR:  
**ALT INVESTMENTS LLC**

**TEMTE SUBDIVISION**  
 STATE ROAD 35  
 HOLMEN, WI 54636  
**TEMTE STREET - PLAN & PROFILE**

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| PROJECT No: | 17-096                          |
| DRAWN BY:   | R.C.J.                          |
| CHECKED BY: | JM                              |
| DATE:       | 6/28/2019                       |
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DATE: 6/28/2019 2:12 PM





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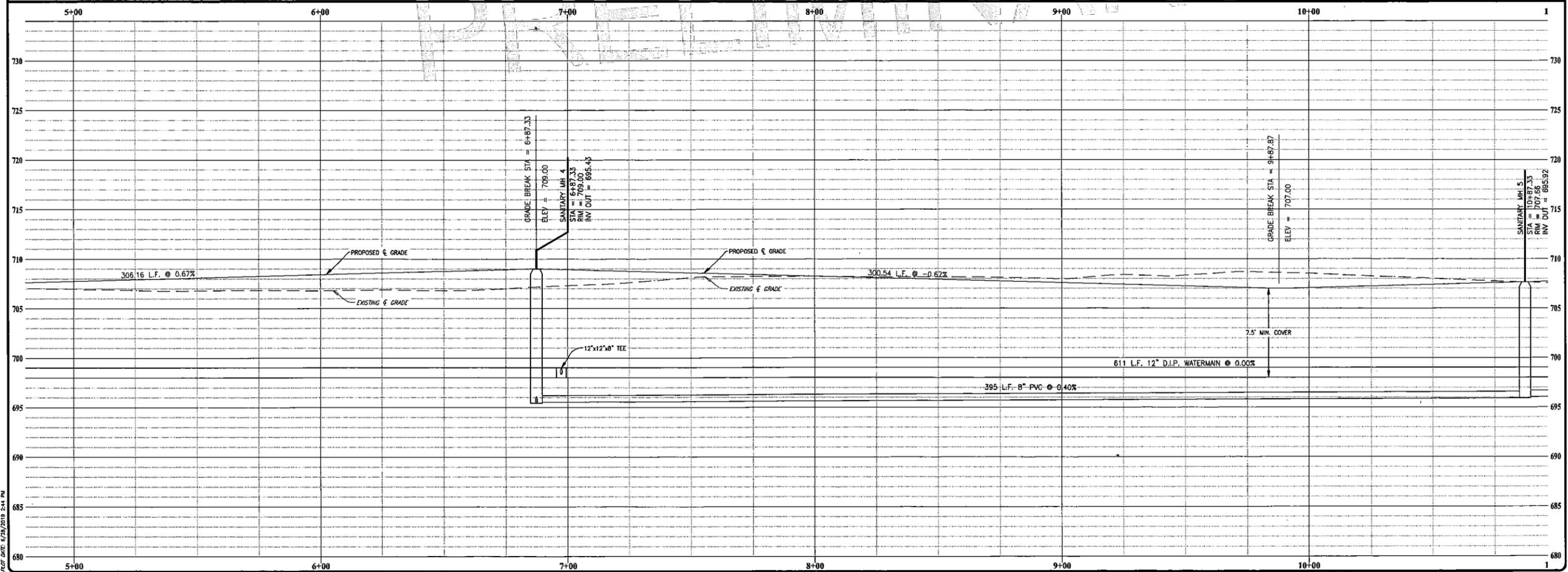
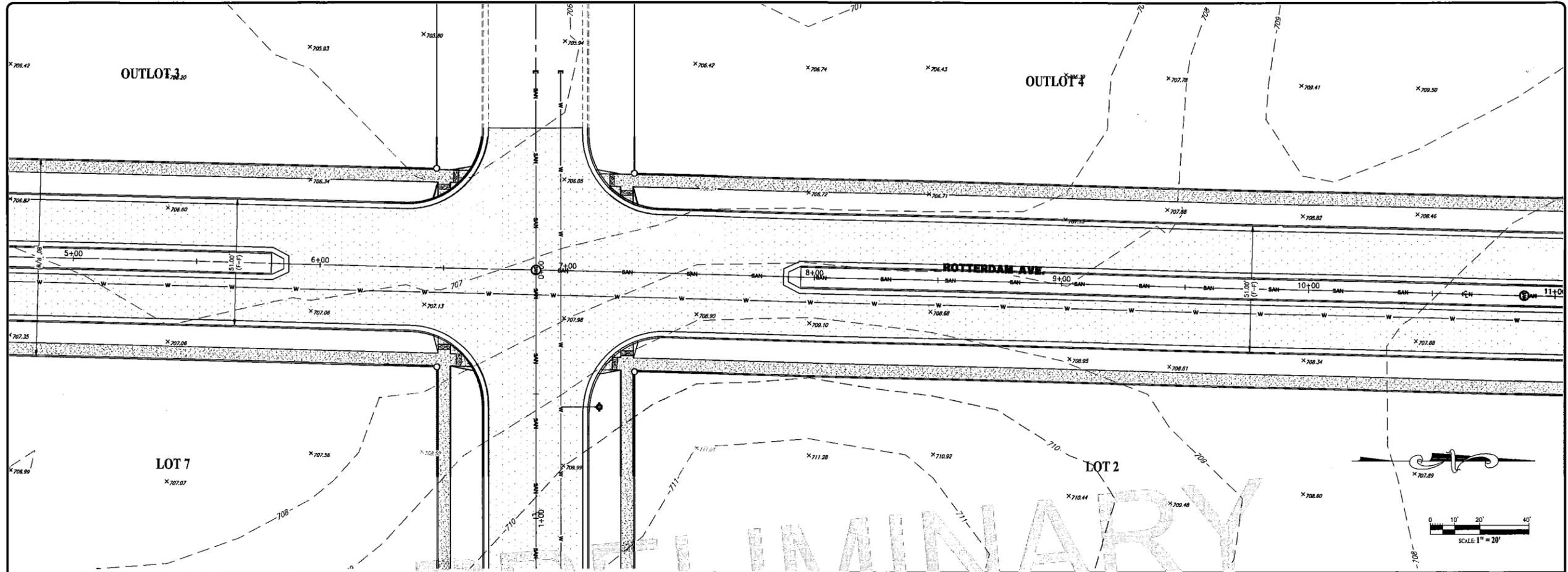
**PARAGON ASSOCIATES**  
 Environmental Design & Consulting  
 CIVIL ENGINEERING · LANDSCAPE ARCHITECTURE · SURVEYING  
 144608 781.5110 Fax: 608.781.5107 Paragon-Associates.com

PREPARED FOR:  
**ALT INVESTMENTS LLC**

**TEMTE SUBDIVISION**  
 STATE ROAD 35  
 HOLMEN, WI 54636  
**ROTTERDAM AVE - PLAN & PROFILE**

PROJECT No: 17-096  
 DRAWN BY: R.C.J. CHECKED BY: JM  
 DATE: 6/28/2019  
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 SCALE: 1"=20' H 1"=5' V  
 SHEET No: **C603**

PLOT DATE: 6/28/2019 2:58 PM



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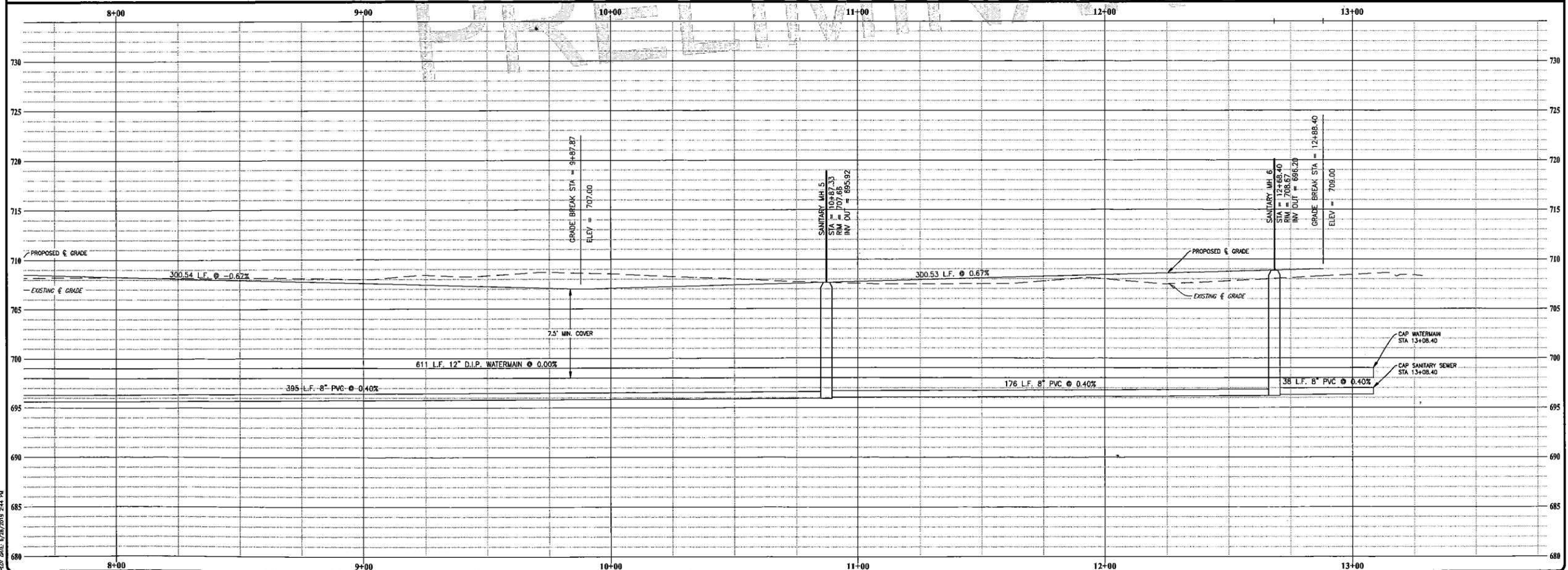
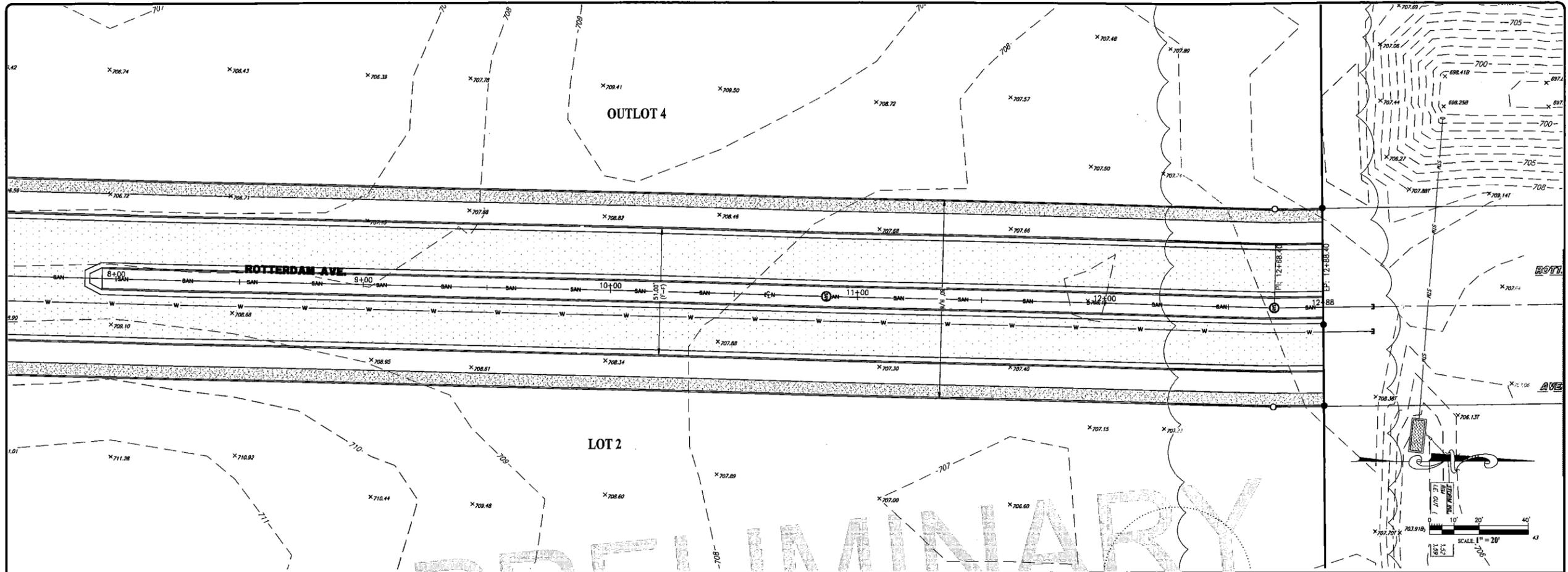
**PREPARED BY:**  
**PARAGON ASSOCIATES**  
 Environmental Design & Consulting  
 CIVIL ENGINEERING, LANDSCAPE ARCHITECTURE, SURVEYING  
 52 COPPELAND AVENUE, LA CROSSE, WI 54603  
 TEL: 608/781.3110 FAX: 608/781.3187 Paragon@paragonassoc.com

PREPARED FOR:  
**ALT INVESTMENTS LLC**

**TEMTE SUBDIVISION**  
 STATE ROAD 35  
 HOLMEN, WI 54636  
**ROTTERDAM AVE - PLAN & PROFILE**

PROJECT No:  
 17-086  
 DRAFTED BY: R.C.J. CHECKED BY: JM  
 DATE: 8/26/2019  
 CAD FILE: 17-086 Temte Subdivision\_07.dwg  
 SCALE: 1"=20' H 1"=5' V  
 SHEET No:  
**C604**

PLOT DATE: 8/29/2019 2:44 PM



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**PARAGON ASSOCIATES**  
 Environmental Design & Consulting  
 Environmental Engineering, Landscape Architecture, Surveying  
 Civil Engineering, Land Use Planning, Construction Management  
 1416087813110 Fax: 800.781.3117 Fortington, Minnesota

PREPARED FOR:  
**ALT INVESTMENTS LLC**

**TEMTE SUBDIVISION**  
 STATE ROAD 35  
 HOLMEN, WI 54636  
**ROTTERDAM AVE - PLAN & PROFILE**

PROJECT No: 17-096  
 DRAFTED BY: R.C.J. CHECKED BY: JM  
 DATE: 6/28/2019  
 CAD FILE: 17-096 Temte Subdivision\_07.dwg  
 SCALE: 1"=20' H 1"=5' V  
 SHEET No: **C605**

DATE: 6/28/2019 2:44 PM

**DRIVING DIRECTIONS**

QR MAP LOCATION

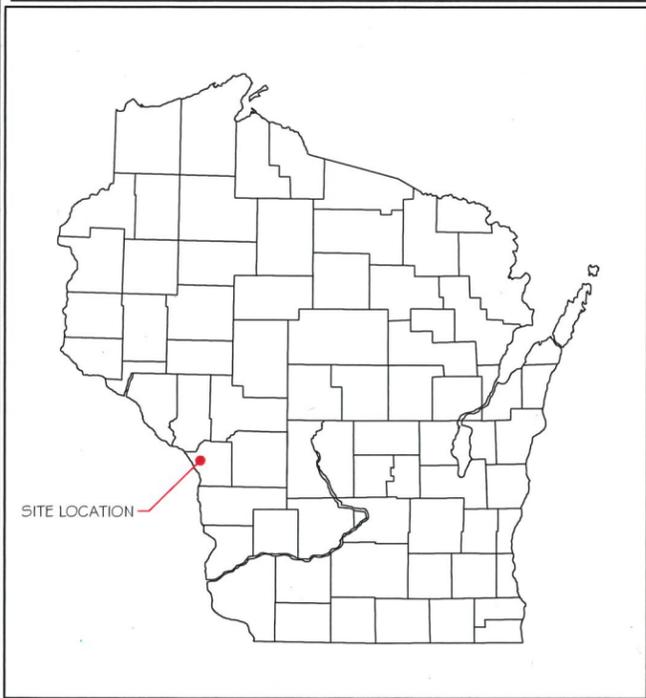


NOTE: TO SCAN THE QR CODE, DOWN LOAD A "QR READER APP"

**AERIAL VIEW OF SITE**



**GENERAL LOCATION**



# HOLMEN CONSTRUCTION DRAWINGS

**GENERAL NOTES**

DESCRIPTION OF PROPOSED SITE USE  
 PROPOSED ADDITION OF NEW COMPOUND



TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN  
**DIGGERS HOTLINE 811 OR 1-800-242-8511**  
 WISCONSIN STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.

**SHEET INDEX**

- |   |                       |
|---|-----------------------|
| <b>GENERAL:</b>                         | <b>GROUNDING:</b>     |
| T-1 TITLE SHEET                         | G-1 GROUNDING PLAN    |
|   | G-2 GROUNDING DETAILS |
| <b>NOTES:</b>                           | G-3 GROUNDING DETAILS |
| SP-1 SPECIFICATIONS                     | G-4 GROUNDING DETAILS |
| SP-2 SPECIFICATIONS                     |                       |
| <b>SITE:</b>                            |                       |
| C-1 OVERALL SITE PLAN WITH AERIAL PHOTO |                       |
| C-2 OVERALL SITE PLAN                   |                       |
| C-3 SITE PLAN                           |                       |
| C-4 SITE ELEVATION                      |                       |
| C-5 SITE LANDSCAPE ELEVATION            |                       |
| C-6 FENCE DETAILS                       |                       |
| C-7 SITE DETAILS                        |                       |
| <b>LANDSCAPING:</b>                     |                       |
| L-1 EROSION CONTROL PLAN                |                       |
| L-2 LANDSCAPE PLAN                      |                       |
| L-3 LANDSCAPE DETAILS                   |                       |
| <b>UTILITY:</b>                         |                       |
| E-1 UTILITY PLAN                        |                       |

**PROJECT INFORMATION**

|                                    |                             |
|------------------------------------|-----------------------------|
| <b>SITE DATA:</b>                  | <b>CONSULTING ENGINEER:</b> |
| SITE NAME: HOLMEN                  | RAMAKER & ASSOCIATES, INC.  |
| ADDRESS:                           | 855 COMMUNITY DRIVE         |
| COUNTY ROAD HD                     | SAUK CITY, WI 53583         |
| HOLMEN, WI 53636                   | CONTACT: STEVE WIDEEN       |
| LA CROSSE COUNTY                   | PH.: (608) 643-4100         |
| TAX PIN # 8-405-0                  | EMAIL: swideen@ramaker.com  |
| <br>                               |                             |
| LATITUDE: N 43° 58' 52.85" NAD 83  |                             |
| LONGITUDE: W 91° 16' 20.69" NAD 83 |                             |
| GROUND ELEV: 713 FT AMSL           |                             |
| <br>                               |                             |
| OCCUPANCY: UNMANNED                |                             |
| <br>                               |                             |
| <b>LESSEE:</b>                     |                             |
| CLOUD 1                            |                             |
| RAY BLDINGS                        |                             |
| 417 PINE STREET FLOOR 2            |                             |
| GREEN BAY, WI 54301                |                             |
| PH. (920) 940-0147                 |                             |



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 PH.: (920) 940-0147

Certification & Seal:  
 I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Wisconsin.



*Michael L. Pinske* 5/28/2019  
 Signature: Date:

| MARK | DATE | DESCRIPTION |
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|      |      |             |
|      |      |             |

| ISSUE PHASE | DATE ISSUED |
|-------------|-------------|
| FINAL       | 05/28/2019  |

PROJECT TITLE:  
**HOLMEN**

PROJECT INFORMATION:  
 COUNTY ROAD HD  
 HOLMEN, WI 53636  
 LA CROSSE COUNTY  
 TAX ID# 8-405-0  
 SHEET TITLE:

SCALE: NONE

PROJECT NUMBER: 42606  
 SHEET NUMBER:



**GENERAL UTILITY (CONT.)**

4. PROVIDE MOLDED CASE BOLT-ON, THERMAL MAGNETIC TRIP, SINGLE, TWO OR THREE POLE CIRCUIT BREAKERS, MULTIPLE POLE CIRCUIT BREAKERS SHALL BE SINGLE HANDLE COMMON TRIP, SHORT CIRCUIT INTERRUPTING RATING SHALL BE AS REQUIRED FOR AVAILABLE FAULT CURRENTS. ALL CIRCUIT BREAKERS, FUSES AND ELECTRICAL EQUIPMENT SHALL HAVE A SHORT CIRCUIT INTERRUPTING RATING EQUAL TO OR GREATER THAN THAT SHOWN ON PROJECT DRAWINGS.
5. ALL ELECTRICAL EQUIPMENT SHALL BE LABELED WITH PERMANENTLY ENGRAVED LAMINATED PHENOLIC NAMEPLATES WITH WHITE ON BLUE BACKGROUND (MINIMUM LETTER HEIGHT SHALL BE 1/2 INCH). NAMEPLATES SHALL BE FASTENED WITH STAINLESS STEEL SCREWS.
6. CONTRACTOR SHALL PERFORM ALL EXCAVATION, TRENCHING, BACKFILLING, AND REMOVAL OF DEBRIS IN CONNECTION WITH THE ELECTRICAL WORK IN ACCORDANCE WITH THE PROJECT DRAWINGS. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF UNDERGROUND UTILITIES AND GROUNDING WITH THE FOUNDATION INSTALLATION.
7. CONTRACTOR SHALL PROVIDE ALL NECESSARY SUPPORTS FOR EQUIPMENT INSTALLED AS PART OF THIS PROJECT. SUPPORTS SHALL CONSIST OF GALVANIZED STEEL FRAMES, PLATES, BRACKETS, RACKS AND OTHER SHAPES OF ADEQUATE SIZE AND FASTENED WITH BOLTS, SCREWS OR BY WELDING TO PROVIDE RIGID SUPPORT.
8. CONTRACTOR SHALL CALL THE APPROPRIATE UTILITIES PROTECTION SERVICE BEFORE ANY UNDERGROUND WORK IS PERFORMED, SUCH AS TRENCHING, EXCAVATING, AND DRIVING GROUND RODS.
9. CONTRACTOR SHALL SEAL AROUND ELECTRICAL PENETRATIONS THROUGH FIRE-RATED WALLS/FLOORS USING APPROVED FIRE STOP MATERIALS TO MAINTAIN THE FIRE RESISTANCE RATING.
10. SHORT CIRCUIT RATINGS: PROVIDE EQUIPMENT WITH HIGHER FAULT CURRENT RATINGS AS NEEDED TO MATCH UTILITY COMPANY AVAILABLE FAULT CURRENT.

**RACEWAYS**

1. CONDUIT AND CONDUIT FITTINGS SHALL MEET ANSI AND NEC STANDARDS FOR MATERIAL AND WORKMANSHIP AND SHALL BE UL LISTED.
  - A. RIGID STEEL CONDUIT (FOR ALL ABOVE GRADE WORK) SHALL CONFORM TO ANSI C80-1 AND THE REQUIREMENTS OF NEC PARAGRAPH 346 AND BE STANDARD WEIGHT, MILD RIGID STEEL, HOT DIP GALVANIZED WITH INSIDE AND OUTSIDE FINISHED WITH A PROTECTIVE ZINC COATING. COUPLING, ELBOWS AND BENDS SHALL MEET THESE SAME REQUIREMENTS. FITTINGS SHALL BE OF THE GALVANIZED IRON OR STEEL THREADED TYPE.
  - B. PVC CONDUIT (FOR UNDERGROUND WORK) SHALL CONFORM TO UL STANDARD 651-89 AND THE REQUIREMENTS OF NEC. PARAGRAPH 347. CONDUIT SHALL BE HEAVY WALL TYPE, SCHEDULE 80, AND SUNLIGHT RESISTANT. FITTINGS SHALL BE OF THE UNTHREADED SOLVENT CEMENT TYPE.
  - C. EMT CONDUIT (FOR USE BEHIND WALLS OR ABOVE SUSPENDED CEILING ONLY), ELECTRIC METALLIC TUBING SHALL CONFORM TO ANSI C80.3 AND THE REQUIREMENTS OF NEC, PARAGRAPH 348 AND BE PROTECTED ON EXTERIOR WITH A ZINC COATING AND ON INTERIOR SURFACES WITH EITHER A ZINC COATING OR LACQUER ENAMEL. FITTINGS SHALL BE ZINC COATED STEEL.
2. MINIMUM CONDUIT SIZE SHALL BE 3/4 INCH, SIZES NOT SHOWN ON DRAWINGS SHALL BE PER NEC.
3. ALL SPARE CONDUITS SHALL HAVE A METALLIC OR MULL TAPE
4. CONDUIT SUPPORTS SHALL BE FURNISHED AND INSTALLED BY THE ELECTRICAL CONTRACTOR AND IN ACCORDANCE WITH THE NEC.
5. UNDERGROUND CONDUITS & ENCLOSURES.
  - A. INSTALL A WARNING TAPE TWELVE INCHES ABOVE EACH CONDUIT OR SET OF CONDUITS.
  - B. IDENTIFY EACH CONDUIT AT BOTH ENDS.
  - C. INSTALL A MINIMUM OF 36 INCHES BELOW THE FINISHED GRADE, OR DEEPER IF NOTED ON PLAN DRAWINGS
  - D. USE MANUFACTURED ELECTRICAL PVC ELBOWS AND FITTINGS FOR BELOW GRADE BENDS.
  - E. MAKE JOINTS AND FITTINGS WATERTIGHT ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
  - F. INSTALL A COUPLING BEFORE EACH WALL PENETRATION
  - G. RESTORE SURFACE FEATURES DISTURBED BY EXCAVATION (AND TRENCHING) IN ALL AREAS.
  - H. ENCLOSURES IN DRY LOCATION SHALL BE NEMA 1

**CABLE TRAYS**

1. ALL CABLE TRAYS AND FITTINGS SHALL BE DESIGNED, MANUFACTURED AND TESTED IN CONFORMANCE WITH NEMA VE 1.
2. CABLE TRAYS SHALL BE LADDER TYPE WITH 9-INCH SPACING.
3. CABLE TRAYS SHALL BE CAPABLE OF SUPPORTING 75 LBS/LINEAR FOOT.
4. CABLE TRAYS AND FITTINGS SHALL BE MANUFACTURED OF GALVANIZED STEEL.
5. CABLE TRAYS SHALL BE FURNISHED WITH COVERS WHERE SHOWN ON THE PROJECT DRAWINGS.
6. ALL DISCONTINUOUS SECTIONS OF CABLE TRAY SHALL BE BONDED ACROSS JOINTS.

**CONDUCTORS**

1. ALL POWER, CONTROL AND COMMUNICATION WIRING SHALL MEET REQUIRED NEMA-RATINGS, ASTM, UL, AND NEC STANDARDS FOR MATERIAL AND WORKMANSHIP UNLESS OTHERWISE SPECIFIED.
  - A. SERVICE ENTRANCE CONDUCTORS SHALL BE COPPER, 200 VOLT, SUNLIGHT RESISTANT, SUITABLE FOR WET LOCATIONS, TYPE USE-2. THE GROUNDED NEUTRAL CONDUCTOR SHALL BE IDENTIFIED WITH A WHITE MARKING AT EACH TERMINATION.
  - B. CONDUCTORS FOR FEEDER AND BRANCH CIRCUITS SHALL BE COPPER 200 VOLT, TYPE THHN/THWN WITH A MINIMUM SIZE OF #12 AWG.
2. ALL CONDUCTOR ACCESSORIES INCLUDING CONNECTORS, TERMINATIONS, INSULATING MATERIALS, SUPPORT GRIPS, MARKER AND CABLE TIES SHALL BE FURNISHED AND INSTALLED. SUPPLIER'S INSTALLATION INSTRUCTIONS SHALL BE OBTAINED FOR CABLE ACCESSORIES. THESE INSTRUCTIONS SHALL BE IN THE POSSESSION OF THE CRAFTSMAN WHILE INSTALLING THE ACCESSORIES AND SHALL BE AVAILABLE TO THE COMPANY FOR REFERENCE.
3. TERMINAL CONNECTORS FOR CONDUCTORS SMALLER THAN 8 AWG SHALL BE COMPRESSION TYPE CONNECTORS SIZED FOR THE CONDUCTOR AND THE TERMINAL. THE CONNECTORS SHALL BE CONSTRUCTED OF FINE GRADE HIGH CONDUCTIVITY COPPER IN ACCORDANCE WITH QQ-C-576 AND SHALL BE TIN-PLATED IN ACCORDANCE WITH MIL-T-10727. THE INTERIOR SURFACE OF THE CONNECTOR WIRE BARREL SHALL BE SERRATED, AND THE EXTERIOR SURFACE OF THE CONNECTOR WIRE BARREL SHALL BE PROVIDED WITH CRIMP GUIDES.
4. TERMINAL CONNECTORS FOR CONDUCTORS 8 AWG AND LARGER SHALL BE PRESSURE OR BOLTED CLAMP TYPE, BURNDY QUIKLUK, VARILUG OR ACCEPTABLE EQUAL; OR COMPRESSION TYPE; BURNDY TYPE YAV OR YA (LONG BARREL), PANDUIT TYPE LCA OR LCC, OR ACCEPTABLE EQUAL. ACCEPTABLE CONNECTORS INCLUDED WITH COMPANY-FURNISHED EQUIPMENT MAY BE USED.
5. TERMINATION PROVISIONS OF EQUIPMENT FOR CIRCUITS RATED 100 AMPERES OR LESS, OR MARKED FOR NOS. 14 THROUGH 1 CONDUCTORS, SHALL BE USED ONLY FOR CONDUCTORS RATED 60 DEG. C (140 DEG. F). CONDUCTORS WITH HIGHER TEMPERATURE RATINGS SHALL BE PERMITTED, PROVIDED THE AMPACITY OF EACH CONDUCTOR IS DETERMINED BASED ON THE 60 DEG. C (140 DEG. F) AMPACITY OF THE CONDUCTOR SIZE USED.
6. TERMINATION PROVISIONS OF EQUIPMENT FOR CIRCUITS RATED OVER 100 AMPERES, OR MARKED FOR CONDUCTORS LARGER THAN NO. 1, SHALL BE USED ONLY FOR CONDUCTORS RATED 75 DEG. C (167 DEG. F). CONDUCTORS WITH HIGH TEMPERATURE RATINGS SHALL BE PERMITTED, PROVIDED THE AMPACITY OF EACH CONDUCTOR IS DETERMINED BASE ON THE 75 DEG. C (167 DEG. F) AMPACITY OF THE CONDUCTOR SIZE USED.
7. ALL 600 VOLT OR LESS WIRING, WHERE COMPRESSION TYPE CONNECTORS ARE USED, SHALL BE INSULATED WITH AT LEAST ONE TURN OF "SCOTCHFILL" 200 AMP ELECTRICAL INSULATING PUTTY AND THEN COVERED WITH TWO HALF TURNS OF TAPE SIMILAR TO 3M COMPANY'S "33 PLUS" (33+) PLASTIC TAPE OR 88 OUTDOOR.
8. THE ELECTRICAL SERVICE TO THE SITE SHALL BE GROUNDED AT THE SERVICE DISCONNECTING MEANS REQUIRED IN ARTICLE 250 OF THE NATIONAL ELECTRICAL CODE, IN ACCORDANCE WITH ANY LOCAL CODE.
9. ALL UNDERGROUND (BELOW GRADE) GROUNDING CONNECTIONS SHALL BE MADE BY THE CADWELD PROCESS (MECHANICAL LUG ATTACHMENTS BELOW GRADE ARE NOT ACCEPTABLE). CONNECTIONS SHALL INCLUDE ALL CABLE TO CABLE SPLICES (TEES, XS, ETC.) ALL MATERIALS USED (MOLDS, WELDING METAL, TOOLS, ETC.) SHALL BE BY CADWELD AND INSTALLED PER MANUFACTURER'S RECOMMENDATION AND PROCEDURES.

**LIGHTNING PROTECTION**

1. LIGHTNING PROTECTION MATERIAL SHALL BE FURNISHED BY AND INSTALLED BY CONTRACTOR.

**HANGERS AND SUPPORT**

1. MATERIALS, ALL HANGERS, SUPPORTS, FASTENERS, AND HARDWARE SHALL BE ZINC COATED OR OF EQUIVALENT CORROSION RESISTANCE BY TREATMENT OR INHERENT PROPERTY, AND SHALL BE MANUFACTURED PRODUCTS DESIGNED FOR THE APPLICATION. PRODUCTS FOR OUTDOOR USE SHALL BE HOT DIP GALVANIZED.
2. TYPES, HANGERS, STRAPS, RISER SUPPORTS, CLAMPS, U-CHANNEL, THREADED RODS, ETC. AS INDICATED OR REQUIRED.
3. INSTALLATION, RIGIDLY SUPPORT AND SECURE ALL MATERIALS, RACEWAY AND EQUIPMENT BUILDING STRUCTURE USING HANGERS, SUPPORTS AND FASTENERS SUITABLE FOR THE USE, MATERIALS AND LOADS ENCOUNTERED, PROVIDE ALL NECESSARY HARDWARE, PROVIDE CONDUIT SUPPORTS AT MAXIMUM 5 FT. O.C.
4. OVERHEAD MOUNTING, ATTACH OVERHEAD MOUNTED EQUIPMENT TO STRUCTURAL FRAMEWORK OR SUPPORTING METAL FRAMEWORK.
5. WALL MOUNTING, SUPPORT WALL MOUNTED EQUIPMENT BY MASONRY, CONCRETE BLOCK, METAL FRAMING OR SUB-FRAMING.
6. EXTERIOR WALLS, MOUNT ALL EQUIPMENT LOCATED ON THE INTERIOR OF EXTERIOR BUILDING WALLS AT LEAST ONE INCH AWAY FROM WALL SURFACE, USING SUITABLE SPACERS.
7. STRUCTURAL MEMBERS, DO NOT CUT, DRILL OR WELD ANY STRUCTURAL MEMBER EXCEPT SPECIFICALLY APPROVED BY THE ENGINEER.
8. INDEPENDENT SUPPORT, DO NOT SUPPORT MATERIALS OR EQUIPMENT FROM OTHER EQUIPMENT, PIPING, DUCTWORK OR SUPPORTS FOR SAME.
9. RACEWAY SUPPORTS, RIGIDLY SUPPORT ALL RACEWAY WITH MAXIMUM SPACINGS PER NEC, AND SO AS TO PREVENT DISTORTION OF ALIGNMENT DURING PULLING OPERATION, USE APPROVED HANGERS, CLAMPS AND STRAPS FOR INDIVIDUAL RUNS. DO NOT USE PERFORATED STRAPS OR TIE WIRES. WHERE MULTIPLE PARALLEL RACEWAYS ARE TO RUN TOGETHER, USE TRAPEZE TYPE HANGER ARRANGEMENT MADE FROM U-CHANNEL AND ACCESSORIES. SUSPENDED FOR FUTURE INSTALLATION OF ADDITIONAL RACEWAYS, RIGIDLY ANCHOR VERTICAL CONDUITS SERVING FLOOR MOUNTED OR "ISLAND" TYPE EQUIPMENT MOUNTED AWAY FROM WALLS WITH METAL BRACKET OR RIGID STEEL CONDUIT EXTENSION SECURED TO FLOOR.
10. MISCELLANEOUS SUPPORTS, PROVIDE ANY ADDITIONAL STRUCTURAL SUPPORT STEEL BRACKETS, ANGLES, FASTENERS, AND HARDWARE AS REQUIRED TO ADEQUATELY SUPPORT ALL ELECTRICAL MATERIALS AND EQUIPMENT.
  11. ONE HOLE STRAPS SHALL NOT BE USED FOR CONDUITS LARGER THAN 3/4 INCH.

**CUTTING AND PATCHING**

1. GENERAL: PROVIDE ALL CUTTING, DRILLING, CHASING, FITTING AND PATCHING NECESSARY FOR ACCOMPLISHING THE WORK. THIS INCLUDES ANY AND ALL WORK NECESSARY TO UNCOVER WORK TO PROVIDE FOR INSTALLATION OF ILL TIMES WORK. REMOVE AND REPLACE DEFECTIVE WORK AND WORK NOT CONFORMING TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. INSTALL EQUIPMENT AND MATERIALS IN EXISTING STRUCTURES IN ADDITION TO THAT REQUIRED DURING THE NORMAL COURSE OF CONSTRUCTION.
2. BUILDING STRUCTURE: DO NOT ENDANGER THE INTEGRITY OF THE BUILDING STRUCTURE BY CUTTING, DRILLING OR OTHERWISE MODIFYING ANY STRUCTURAL MEMBER WITHOUT SPECIFIC APPROVAL. DO NOT PROCEED WITHOUT ANY STRUCTURAL MODIFICATIONS WITHOUT PERMISSION OF THE PROJECT STRUCTURAL ENGINEER.
3. REPAIRS: REPAIR ANY AND ALL DAMAGE TO WORK OF OTHER TRADES CAUSED BY CUTTING AND PATCHING OPERATIONS, USING SKILLED MECHANICS OF THE TRADES INVOLVED.
1. GENERAL: PROVIDE ALL HOLES, SLEEVES, AND OPENINGS REQUIRED FOR THE COMPLETION OF WORK AND RESTORE ALL SURFACES DAMAGED TO MATCH SURROUNDING SURFACES. MAINTAIN INTEGRITY OF ALL FIRE AND SMOKE RATED BARRIERS USING APPROVED FIRE-STOPPING SYSTEMS. WHEN CUTTING HOLES OR OPENINGS, OR INSTALLING SLEEVES, DO NOT CUT, DAMAGE OR DISTURB STRUCTURAL ELEMENTS OR REINFORCING STEEL UNLESS APPROVED IN WRITING, BY THE PROJECT STRUCTURAL ENGINEER.
2. CONDUIT PENETRATIONS: SIZE CORE DRILLING HOLES SO THAT AN ANNULAR SPACE OF NOT LESS THAN 1/4 INCH AND NOT MORE THAN 1 INCH IS LEFT AROUND THE CONDUIT, PIPE, ETC. WHEN OPENINGS ARE CUT IN LIEU OF CORE DRILLED, PROVIDE SLEEVE IN ROUGH OPENING. SIZE SLEEVES TO PROVIDE AN ANNULAR SPACE OF NOT LESS THAN 1/4 INCH AND NOT MORE THAN 1 INCH AROUND THE CONDUIT, PIPE, ETC. PATCH AROUND THE SLEEVE TO MATCH SURROUNDING SURFACES.

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 PH.: (920) 940-0147

Certification & Seal

| MARK  | DATE  | DESCRIPTION            |
|-------|-------|------------------------|
| ISSUE | FINAL | DATE ISSUED 05/28/2019 |

PROJECT TITLE:  
**HOLMEN**

PROJECT INFORMATION:  
 COUNTY ROAD HD  
 HOLMEN, WI 53636  
 LA CROSSE COUNTY  
 TAX ID# 8-405-0

SHEET TITLE:  
**SPECIFICATIONS**

SCALE: NONE

|                |       |
|----------------|-------|
| PROJECT NUMBER | 42606 |
| SHEET NUMBER   | SP-2  |

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ISSUE PHASE: FINAL DATE ISSUED: 05/28/2019

PROJECT TITLE:  
**HOLMEN**

PROJECT INFORMATION:  
 COUNTY ROAD HD  
 HOLMEN, WI 53636  
 LA CROSSE COUNTY  
 TAX ID# 8-405-0

SHEET TITLE:  
**OVERALL SITE PLAN WITH AERIAL**



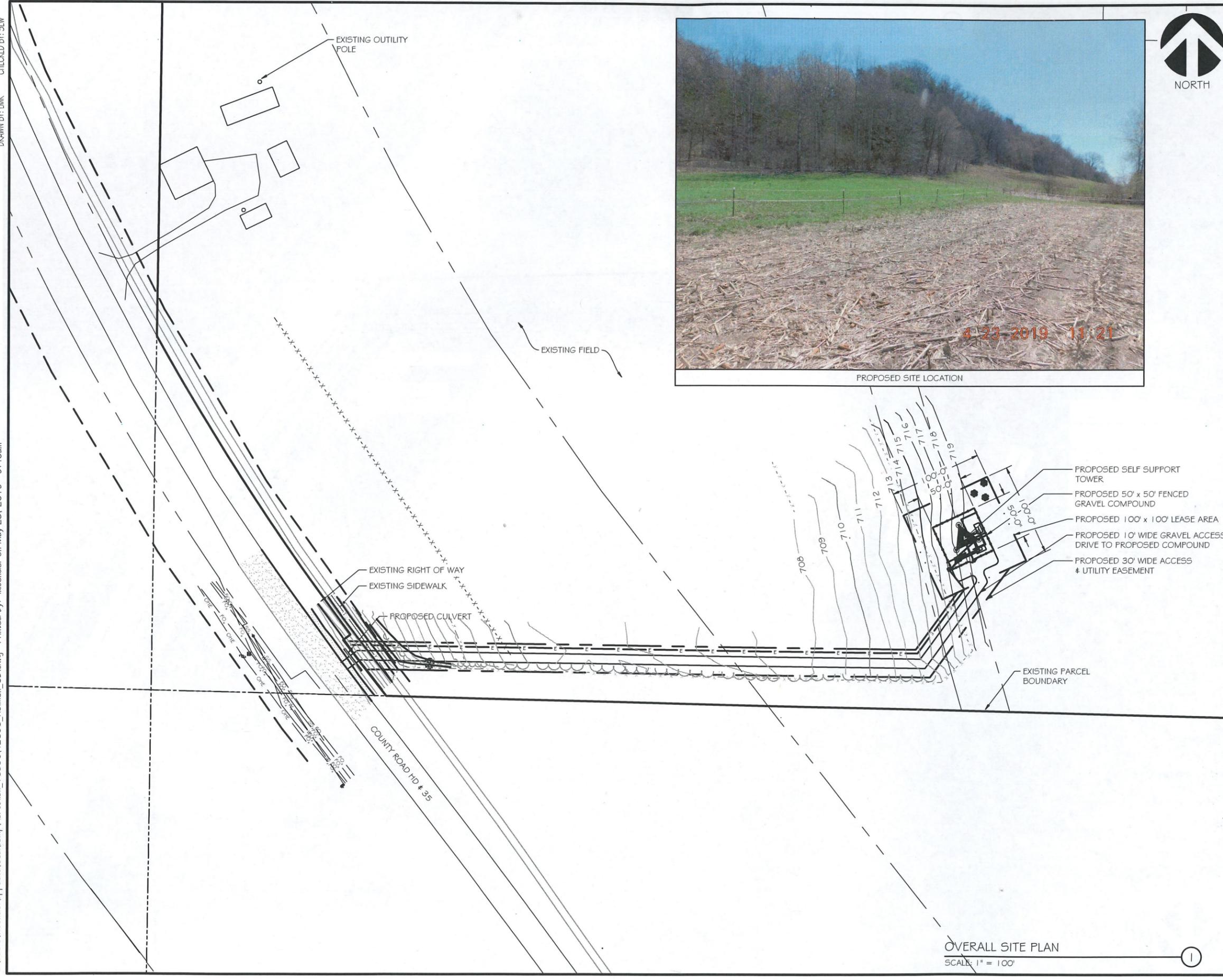
1" x 17" - 1" = 100'  
 22" x 34" - 1" = 50'  
 PROJECT NUMBER: 42606  
 SHEET NUMBER: C-1

OVERALL SITE PLAN W/ AERIAL PHOTO  
 SCALE: 1" = 100'

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**cloud1**  
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 PH.: (920) 940-0147

Certification & Seal:

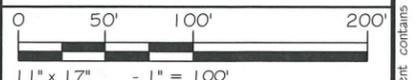
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PROJECT TITLE:  
**HOLMEN**

PROJECT INFORMATION:  
 COUNTY ROAD HD  
 HOLMEN, WI 53636  
 LA CROSSE COUNTY  
 TAX ID# 8-405-0

SHEET TITLE:  
**OVERALL SITE PLAN**



|                |           |
|----------------|-----------|
| 1 1/2" x 17"   | 1" = 100' |
| 22" x 34"      | 1" = 50'  |
| PROJECT NUMBER | 42606     |
| SHEET NUMBER   | C-2       |

OVERALL SITE PLAN  
 SCALE: 1" = 100'

1

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ISSUE PHASE: FINAL DATE ISSUED: 05/28/2019

PROJECT TITLE:

HOLMEN

PROJECT INFORMATION:  
 COUNTY ROAD HD  
 HOLMEN, WI 53636  
 LA CROSSE COUNTY  
 TAX ID# 8-405-0

SHEET TITLE:

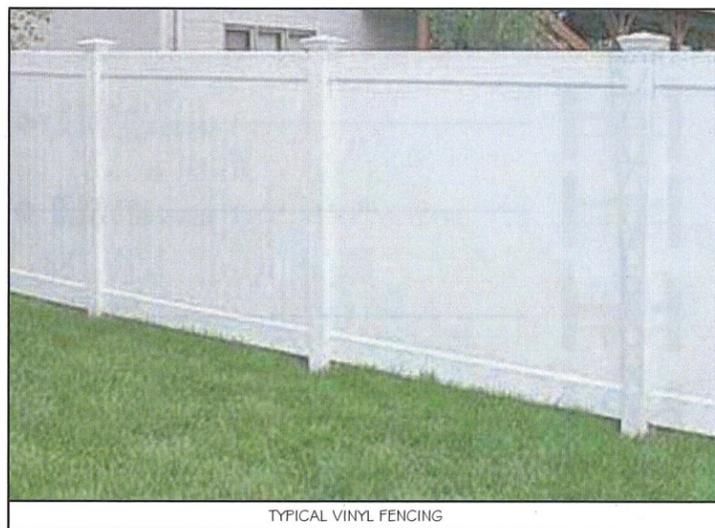
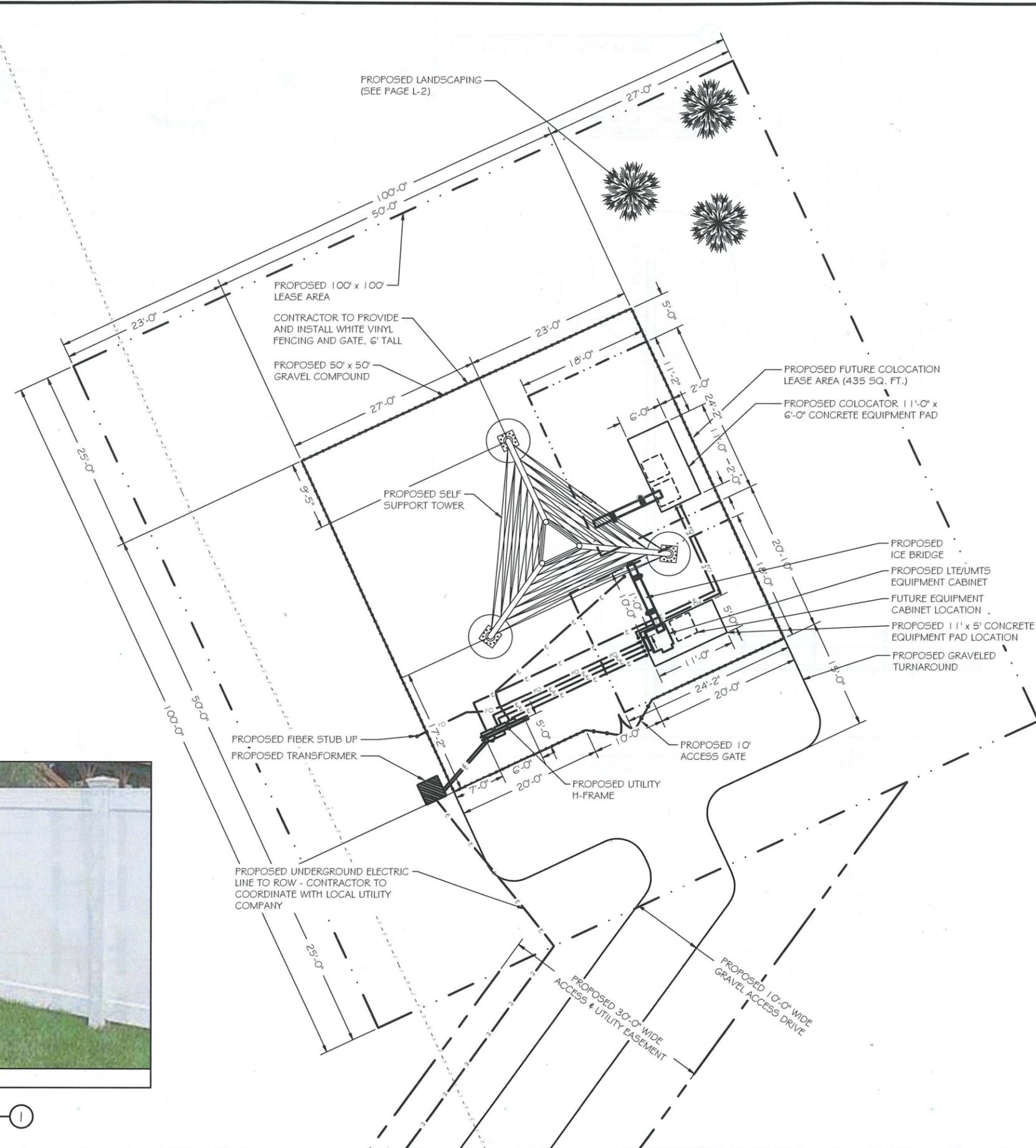
SITE PLAN



1 1/2" x 17" - 1" = 15'  
 22" x 34" - 1" = 7.5'

PROJECT NUMBER: 42606

SHEET NUMBER: C-3



TYPICAL VINYL FENCING

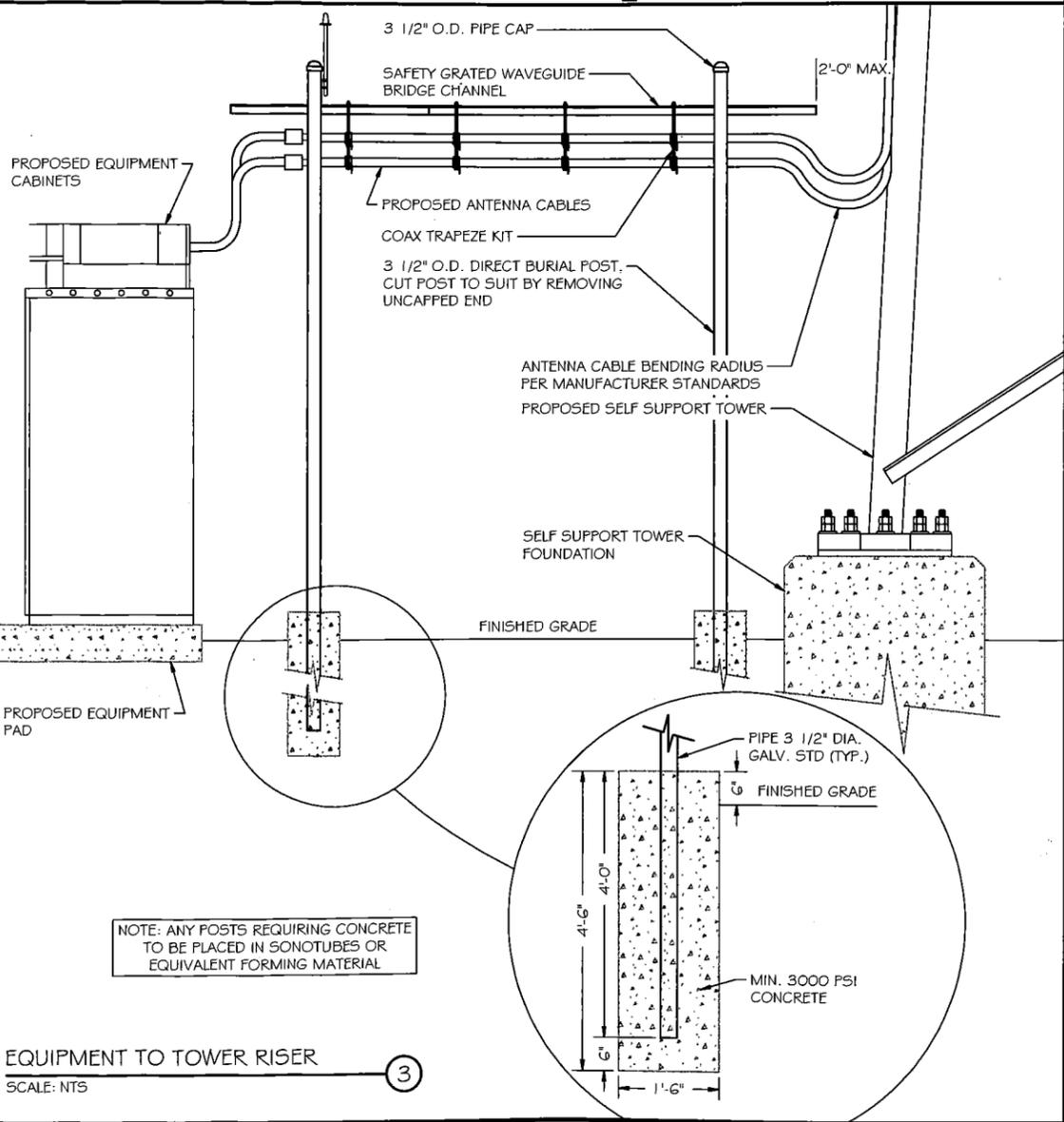
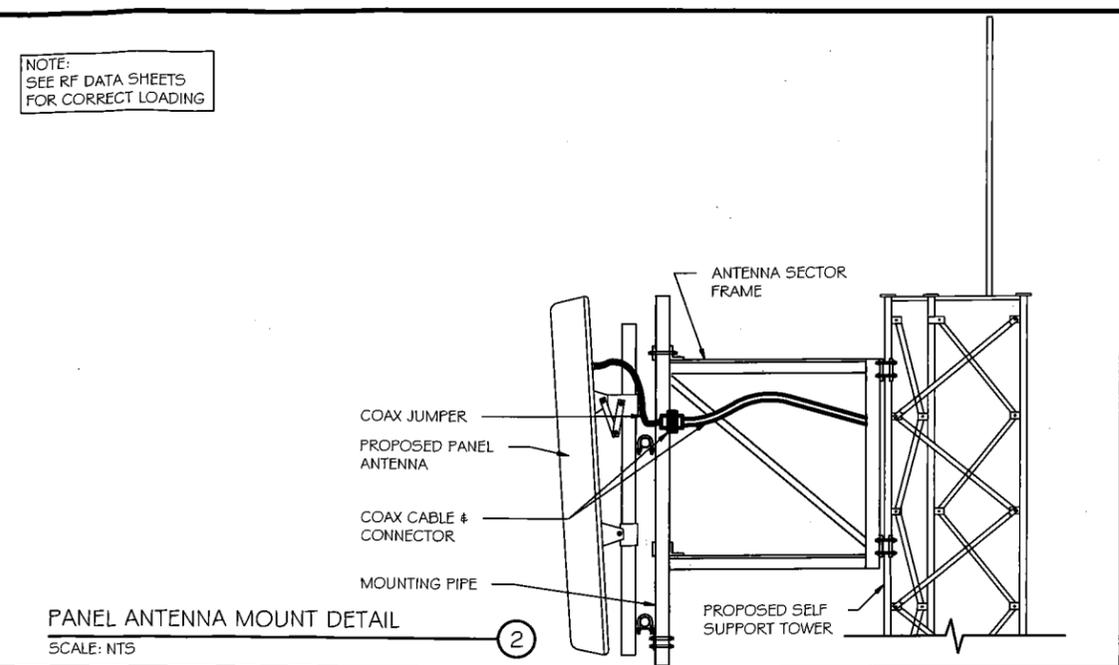
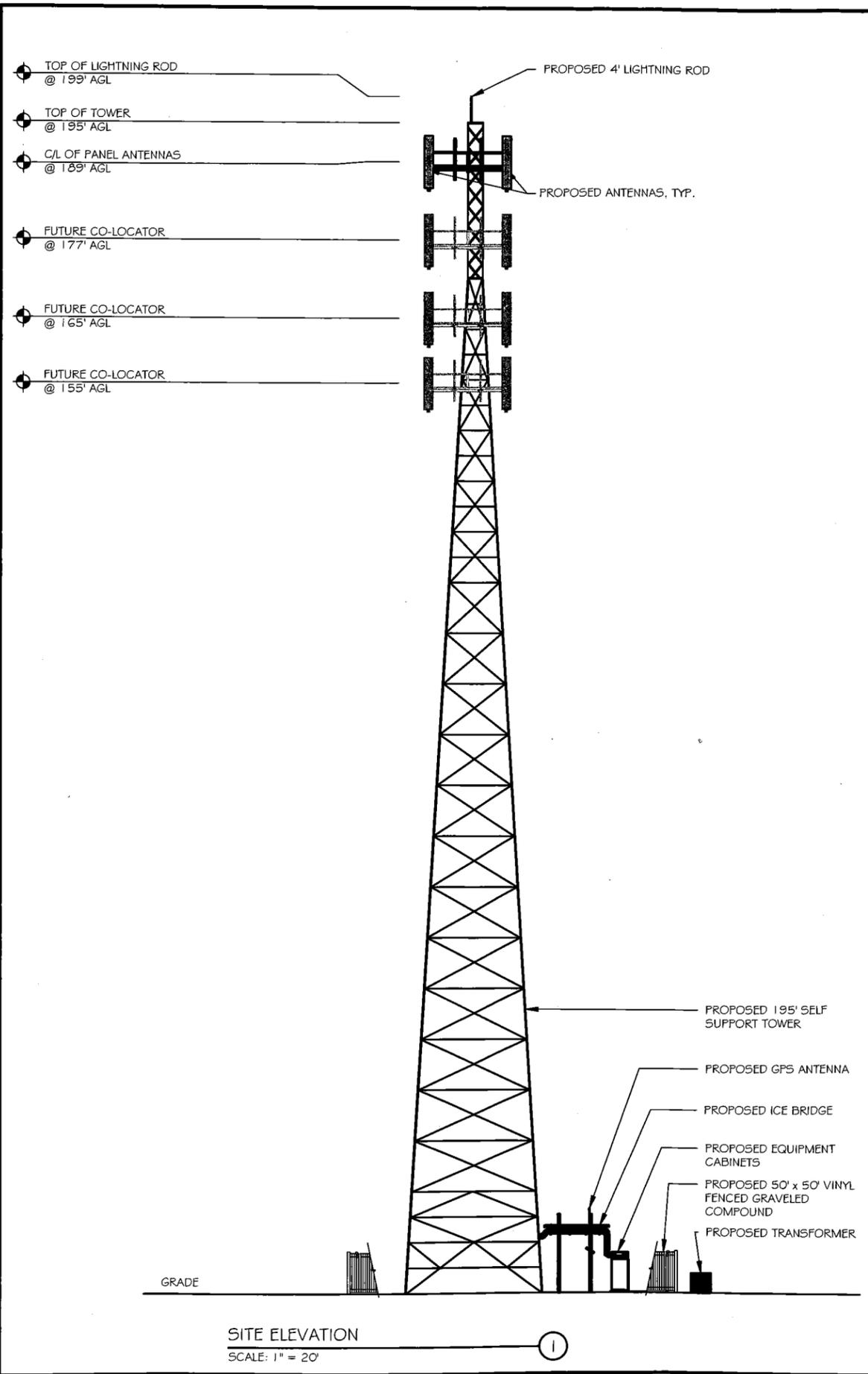
SITE PLAN

SCALE: 1" = 15'



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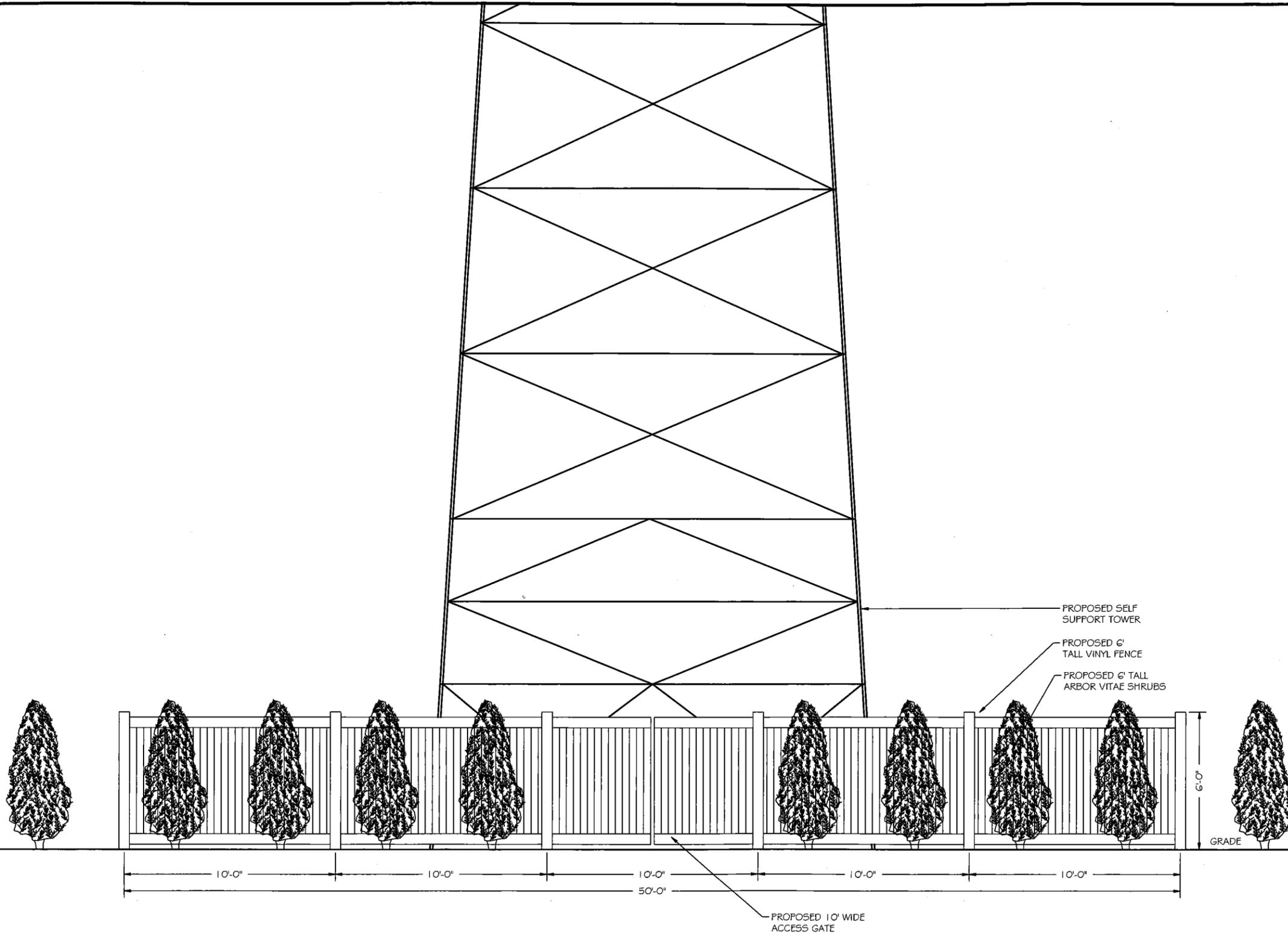
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| MARK           | DATE  | DESCRIPTION            |
|----------------|-------|------------------------|
| ISSUE          | FINAL | DATE ISSUED 05/28/2019 |
| PROJECT TITLE: |       |                        |

**HOLMEN**  
 PROJECT INFORMATION:  
 COUNTY ROAD HD  
 HOLMEN, WI 53636  
 LA CROSSE COUNTY  
 TAX ID# 8-405-0  
 SHEET TITLE:

**SITE ELEVATION**  
  
 1 1/2" x 17" - 1" = 20'  
 22" x 34" - 1" = 10'  
 PROJECT NUMBER: 42606  
 SHEET NUMBER: C-4

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|-------|-------|------------------------|
| ISSUE | FINAL | DATE ISSUED 05/28/2019 |
| PHASE |       |                        |

PROJECT TITLE:

HOLMEN

PROJECT INFORMATION:  
 COUNTY ROAD HD  
 HOLMEN, WI 53636  
 LA CROSSE COUNTY  
 TAX ID# 8-405-0

SHEET TITLE:

SITE LANDSCAPE ELEVATION



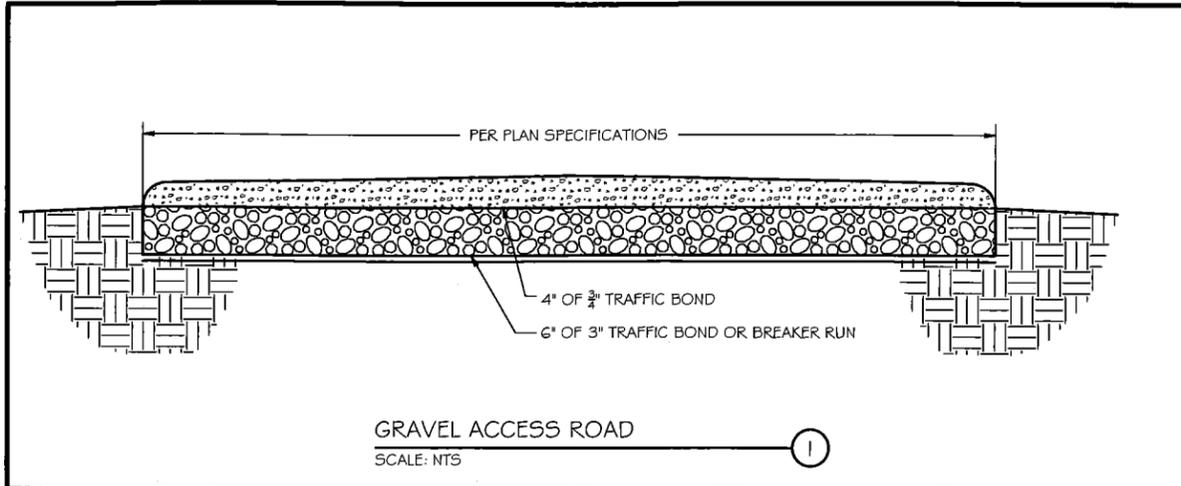
1 1/2" x 1 7/8" - 1" = 5'  
 22" x 34" - 1" = 2.5'

PROJECT NUMBER 42606  
 SHEET NUMBER C-5

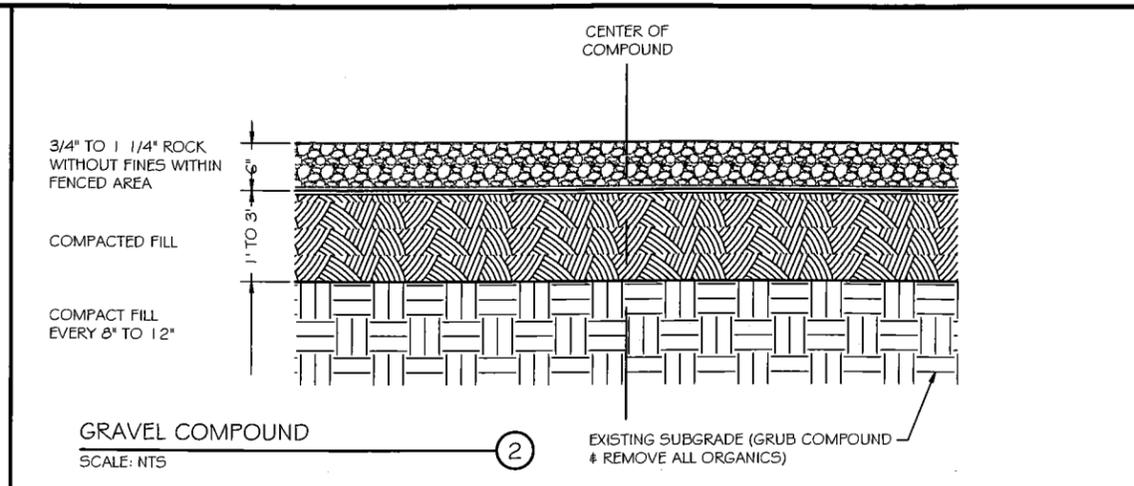
SITE LANDSCAPE ELEVATION  
 SCALE: 1" = 5'

1

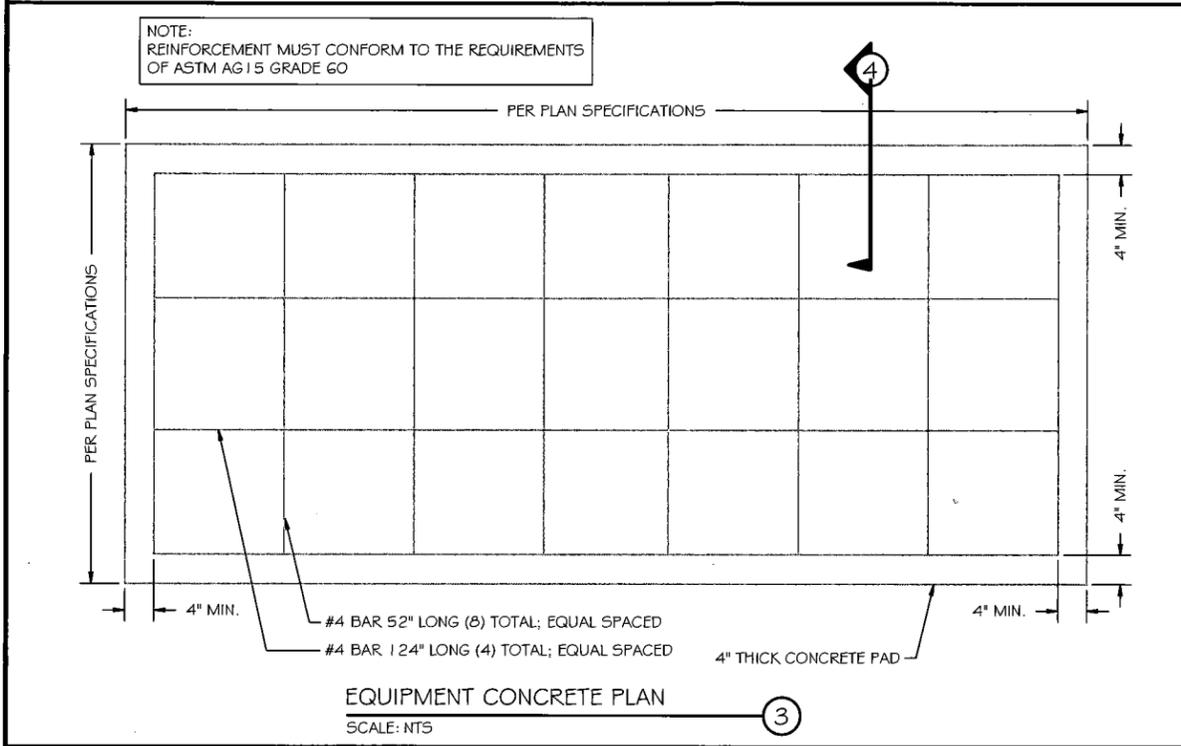




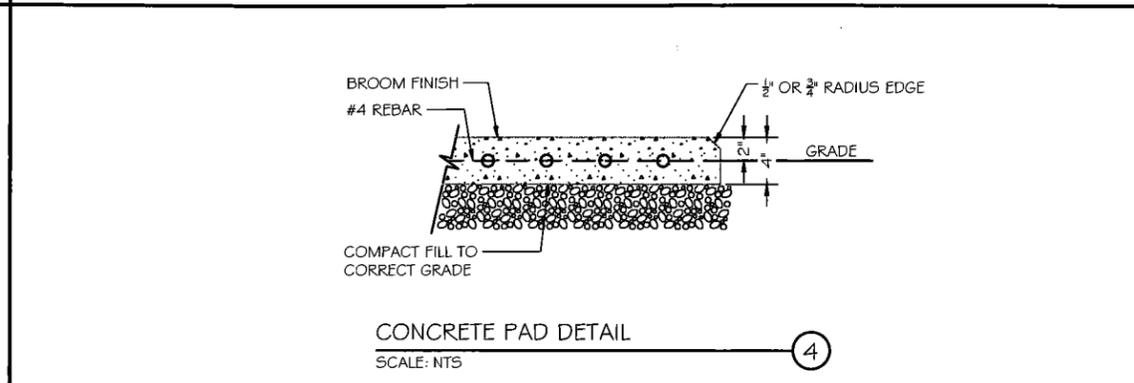
**GRAVEL ACCESS ROAD**  
 SCALE: NTS



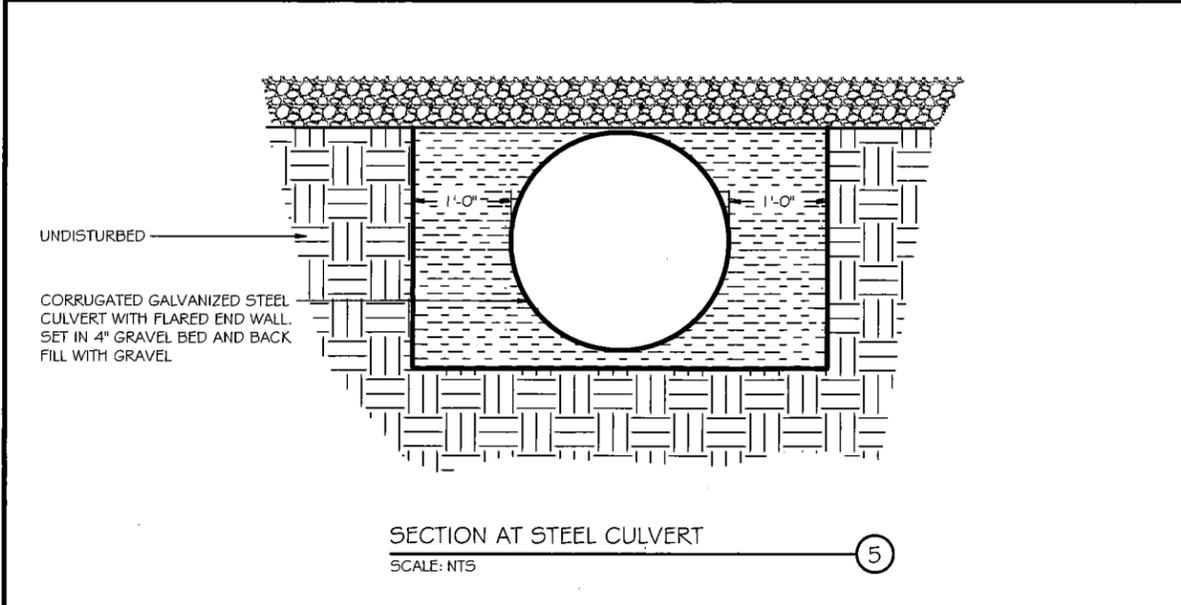
**GRAVEL COMPOUND**  
 SCALE: NTS



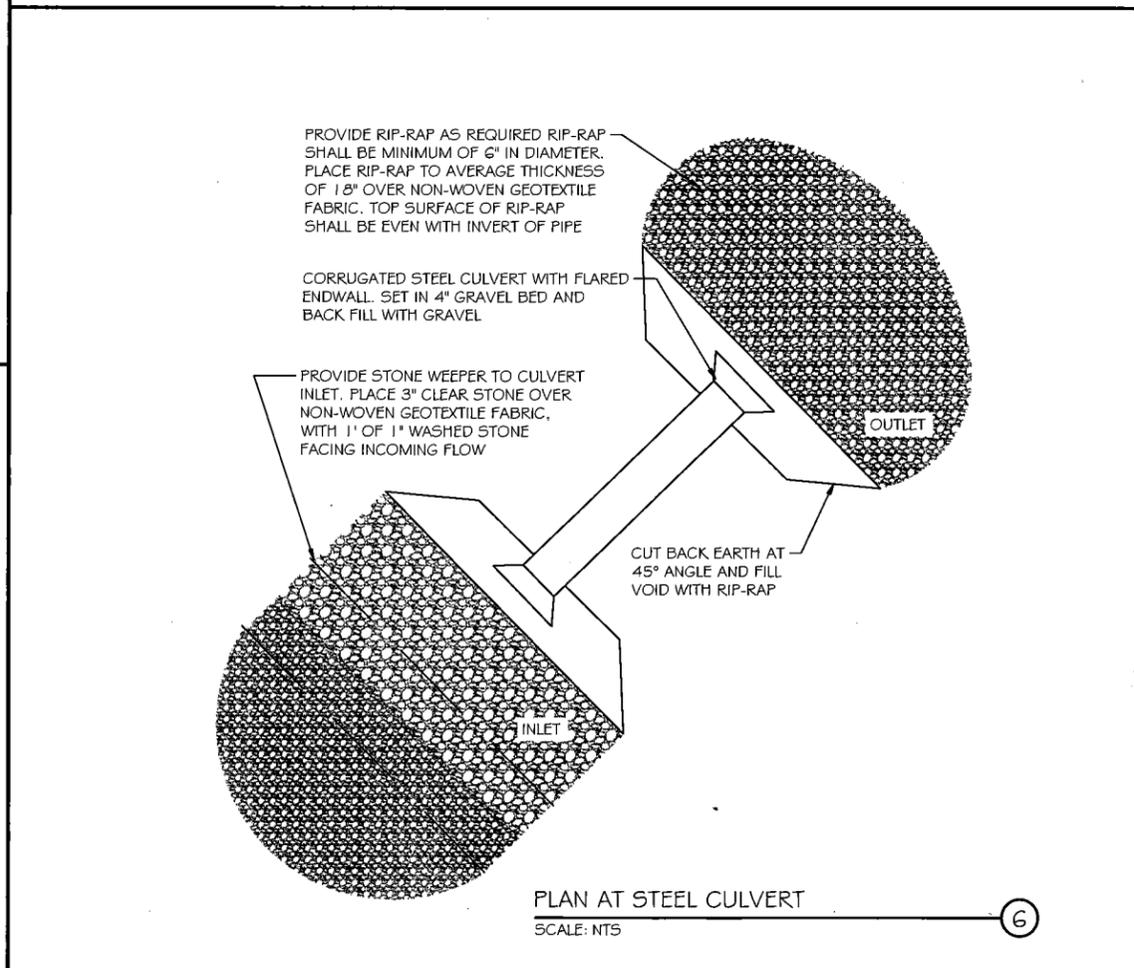
**EQUIPMENT CONCRETE PLAN**  
 SCALE: NTS



**CONCRETE PAD DETAIL**  
 SCALE: NTS



**SECTION AT STEEL CULVERT**  
 SCALE: NTS



**PLAN AT STEEL CULVERT**  
 SCALE: NTS

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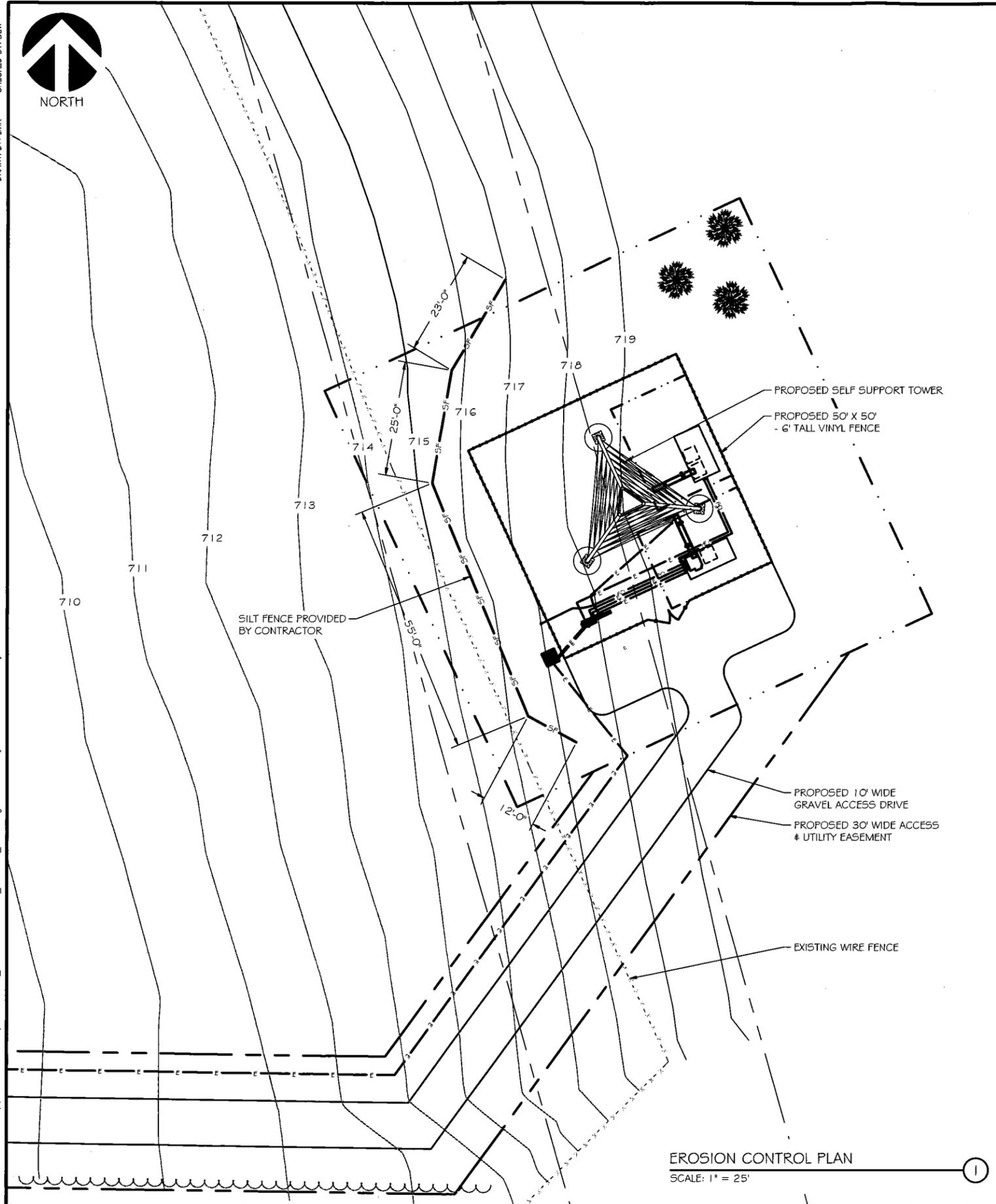
PROJECT TITLE:  
**HOLMEN**

PROJECT INFORMATION:  
 COUNTY ROAD HD  
 HOLMEN, WI 53636  
 LA CROSSE COUNTY  
 TAX ID# 8-405-0

SHEET TITLE:  
**SITE DETAILS**

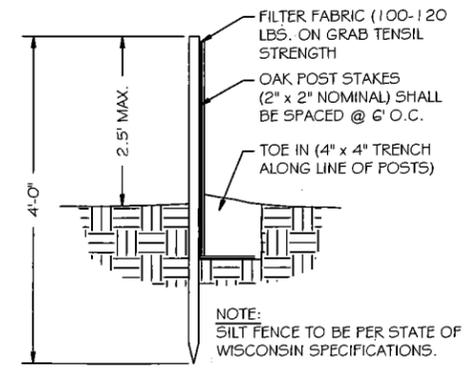
SCALE: NONE

PROJECT NUMBER: 42606  
 SHEET NUMBER: C-7

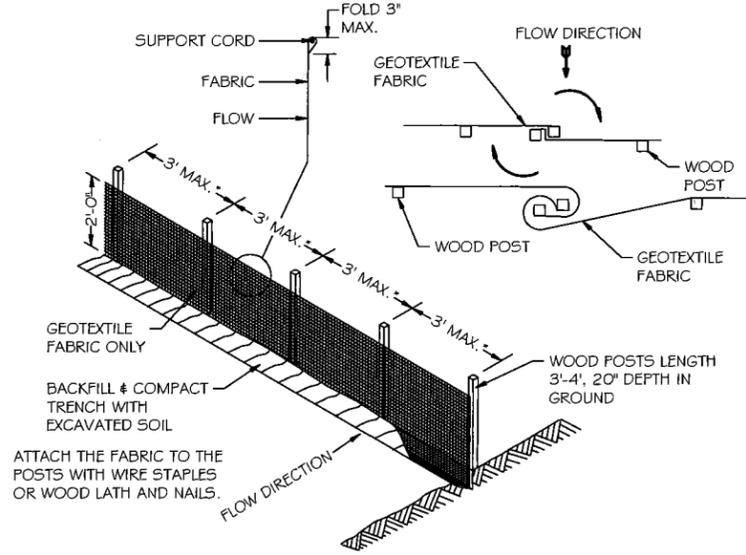


**EROSION CONTROL PLAN**  
 SCALE: 1" = 25'

NOTE:  
 REMOVE EROSION FROM SILT FENCE WHEN IT RISES TO ONE-HALF  
 HEIGHT OF FENCE AND REPLACE WHERE EROSION HAS OCCURRED.



**SILT FENCE DETAIL**  
 SCALE: NTS



**SILT FENCE**  
 SCALE: NTS

**Table 1.**

| Slope     | Fence Spacing |
|-----------|---------------|
| <2%       | 100 FEET      |
| 2 TO 5%   | 75 FEET       |
| 5 TO 10%  | 50 FEET       |
| 10 TO 33% | 25 FEET       |
| >33%      | 20 FEET       |

\*NOTE:  
 8' POST SPACING ALLOWED IF A  
 WOVEN GEOTEXTILE FABRIC IS USED.

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PROJECT TITLE:  
**HOLMEN**

PROJECT INFORMATION:  
 COUNTY ROAD HD  
 HOLMEN, WI 53636  
 LA CROSSE COUNTY  
 TAX ID# 8-405-0  
 SHEET TITLE:  
**EROSION CONTROL PLAN**

0 12.5' 25' 50'

11" x 17" - 1" = 25'  
 22" x 34" - 1" = 12.5'

PROJECT NUMBER: **42606**  
 SHEET NUMBER: **L-1**

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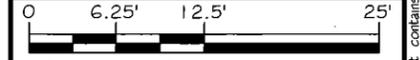
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| ISSUE | FINAL | DATE ISSUED 05/28/2019 |

PROJECT TITLE:  
**HOLMEN**

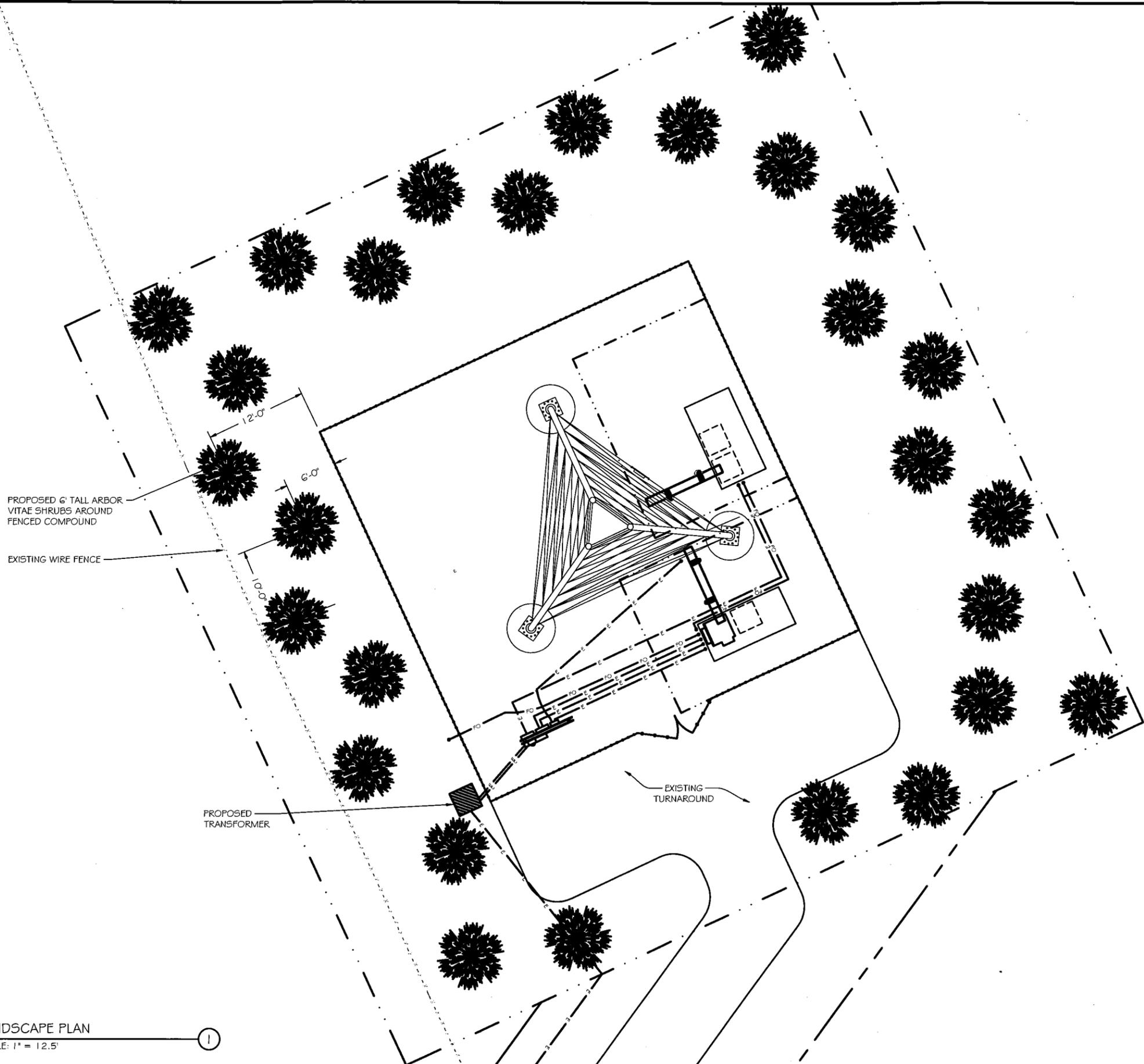
PROJECT INFORMATION:  
 COUNTY ROAD HD  
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 LA CROSSE COUNTY  
 TAX ID# 8-405-0

SHEET TITLE:  
**LANDSCAPE PLAN**

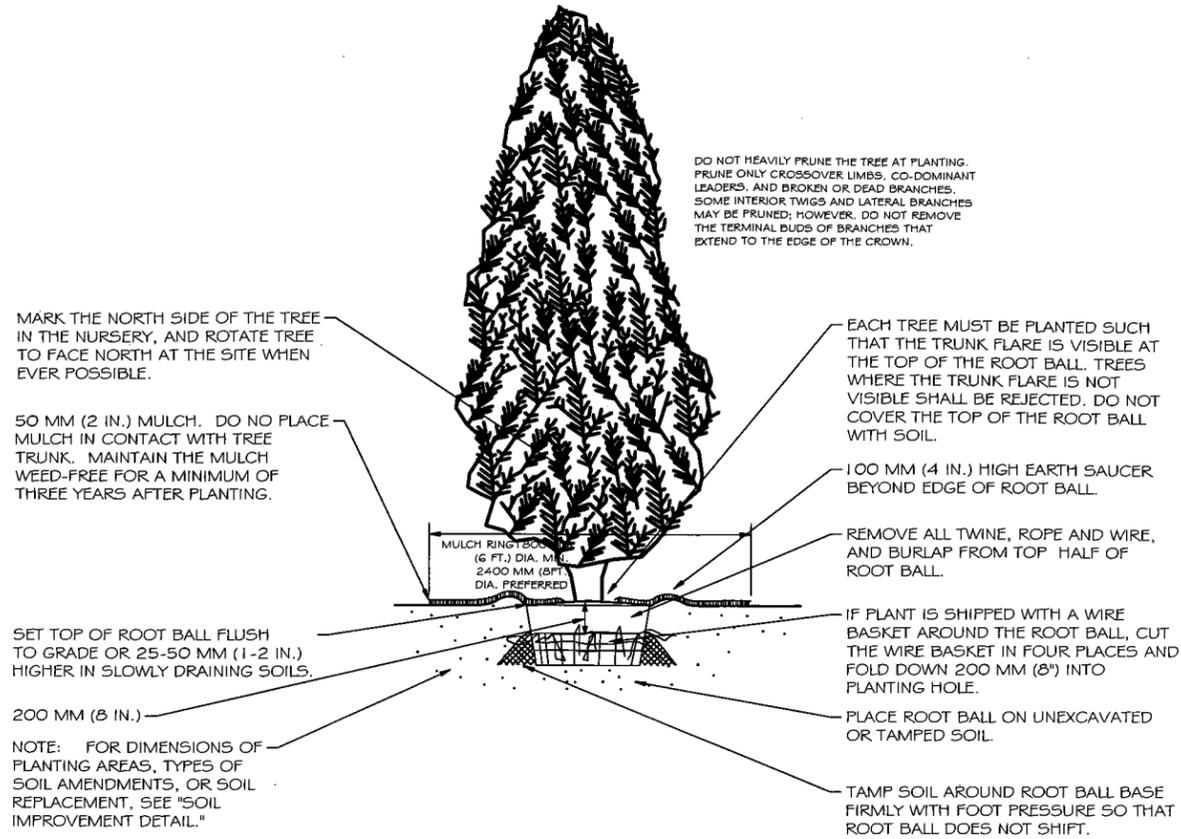


|                |            |
|----------------|------------|
| 11" x 17"      | 1" = 12.5' |
| 22" x 34"      | 1" = 6.25' |
| PROJECT NUMBER | 42606      |
| SHEET NUMBER   | L-2        |

**LANDSCAPE PLAN**  
 SCALE: 1" = 12.5'



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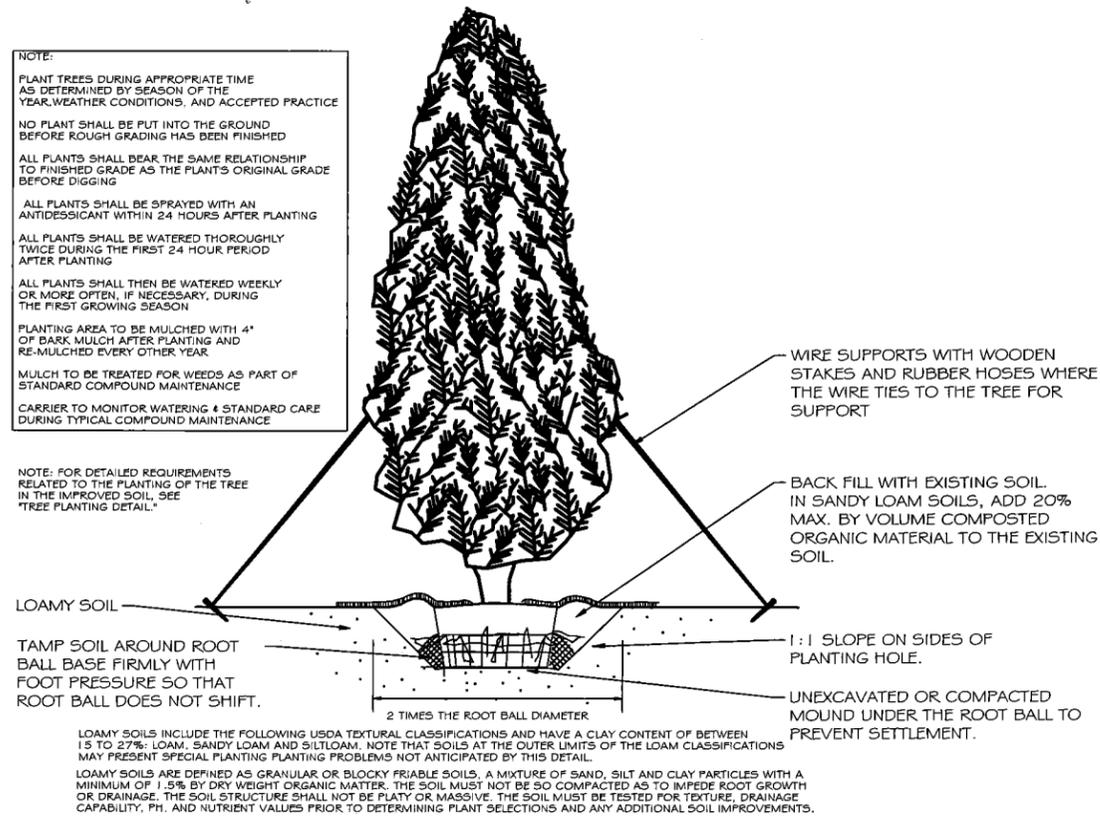
TREE PLANTING DETAIL

SCALE: NTS

1

NOTE:  
 PLANT TREES DURING APPROPRIATE TIME AS DETERMINED BY SEASON OF THE YEAR, WEATHER CONDITIONS, AND ACCEPTED PRACTICE  
 NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN FINISHED  
 ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANTS ORIGINAL GRADE BEFORE DIGGING  
 ALL PLANTS SHALL BE SPRAYED WITH AN ANTIDESSICANT WITHIN 24 HOURS AFTER PLANTING  
 ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING  
 ALL PLANTS SHALL THEN BE WATERED WEEKLY OR MORE OFTEN, IF NECESSARY, DURING THE FIRST GROWING SEASON  
 PLANTING AREA TO BE MULCHED WITH 4" OF DARK MULCH AFTER PLANTING AND RE-MULCHED EVERY OTHER YEAR  
 MULCH TO BE TREATED FOR WEEDS AS PART OF STANDARD COMPOUND MAINTENANCE  
 CARRIER TO MONITOR WATERING & STANDARD CARE DURING TYPICAL COMPOUND MAINTENANCE

NOTE: FOR DETAILED REQUIREMENTS RELATED TO THE PLANTING OF THE TREE IN THE IMPROVED SOIL, SEE "TREE PLANTING DETAIL."



SOIL IMPROVEMENT DETAIL

SCALE: NTS

2

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| ISSUE | FINAL | DATE ISSUED 05/28/2019 |

PROJECT TITLE:  
 HOLMEN

PROJECT INFORMATION:  
 COUNTY ROAD HD  
 HOLMEN, WI 53636  
 LA CROSSE COUNTY  
 TAX ID# 8-405-0

SHEET TITLE:  
 LANDSCAPE DETAIL

SCALE: NONE

|                |       |
|----------------|-------|
| PROJECT NUMBER | 42606 |
| SHEET NUMBER   | L-3   |

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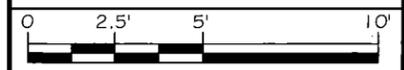
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HOLMEN

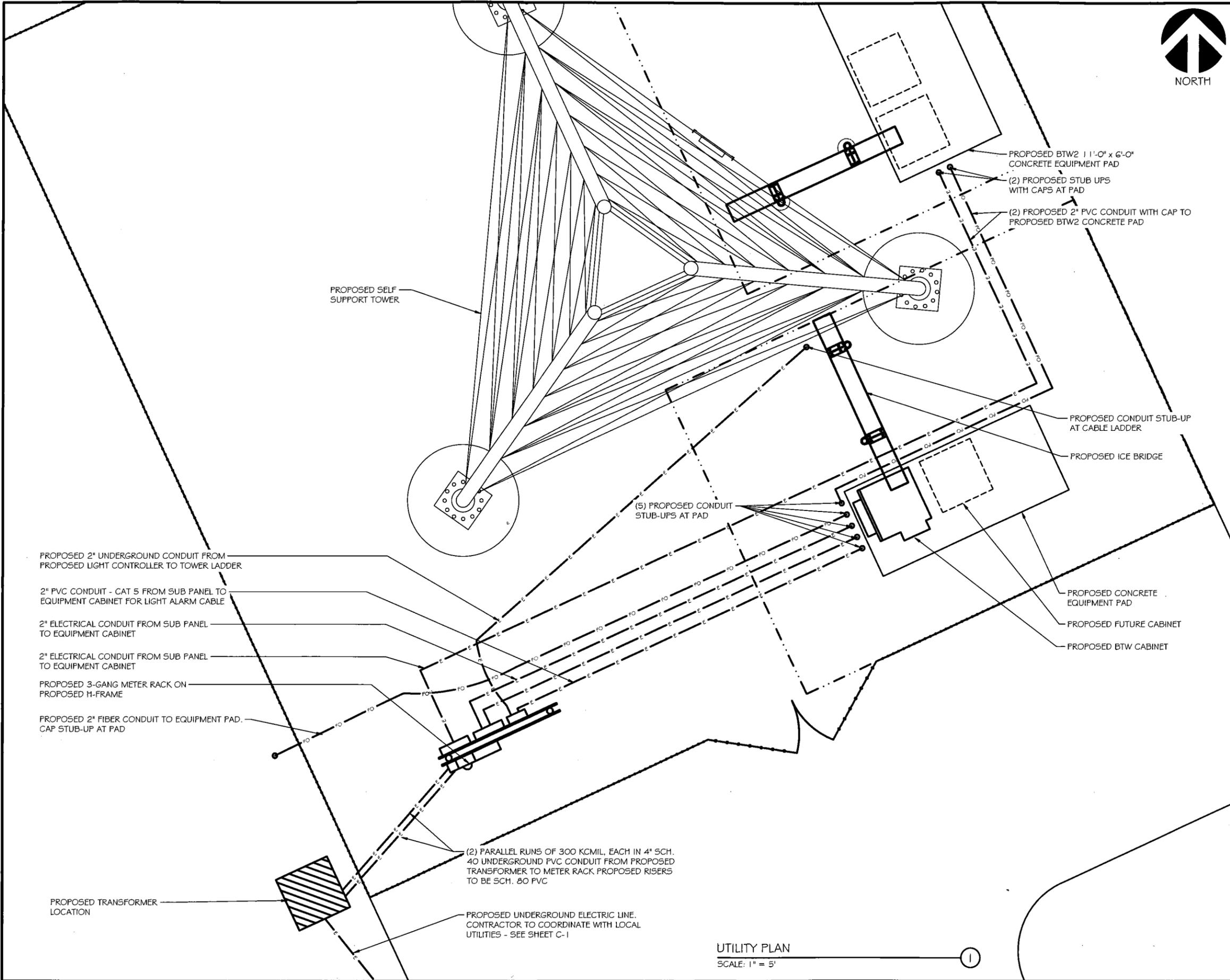
PROJECT INFORMATION:  
 COUNTY ROAD HD  
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 LA CROSSE COUNTY  
 TAX ID# 8-405-0

UTILITY PLAN



|                |             |
|----------------|-------------|
| 1 1/2" x 17"   | - 1" = 5'   |
| 22" x 34"      | - 1" = 2.5' |
| PROJECT NUMBER | 42606       |
| SHEET NUMBER   | E-1         |

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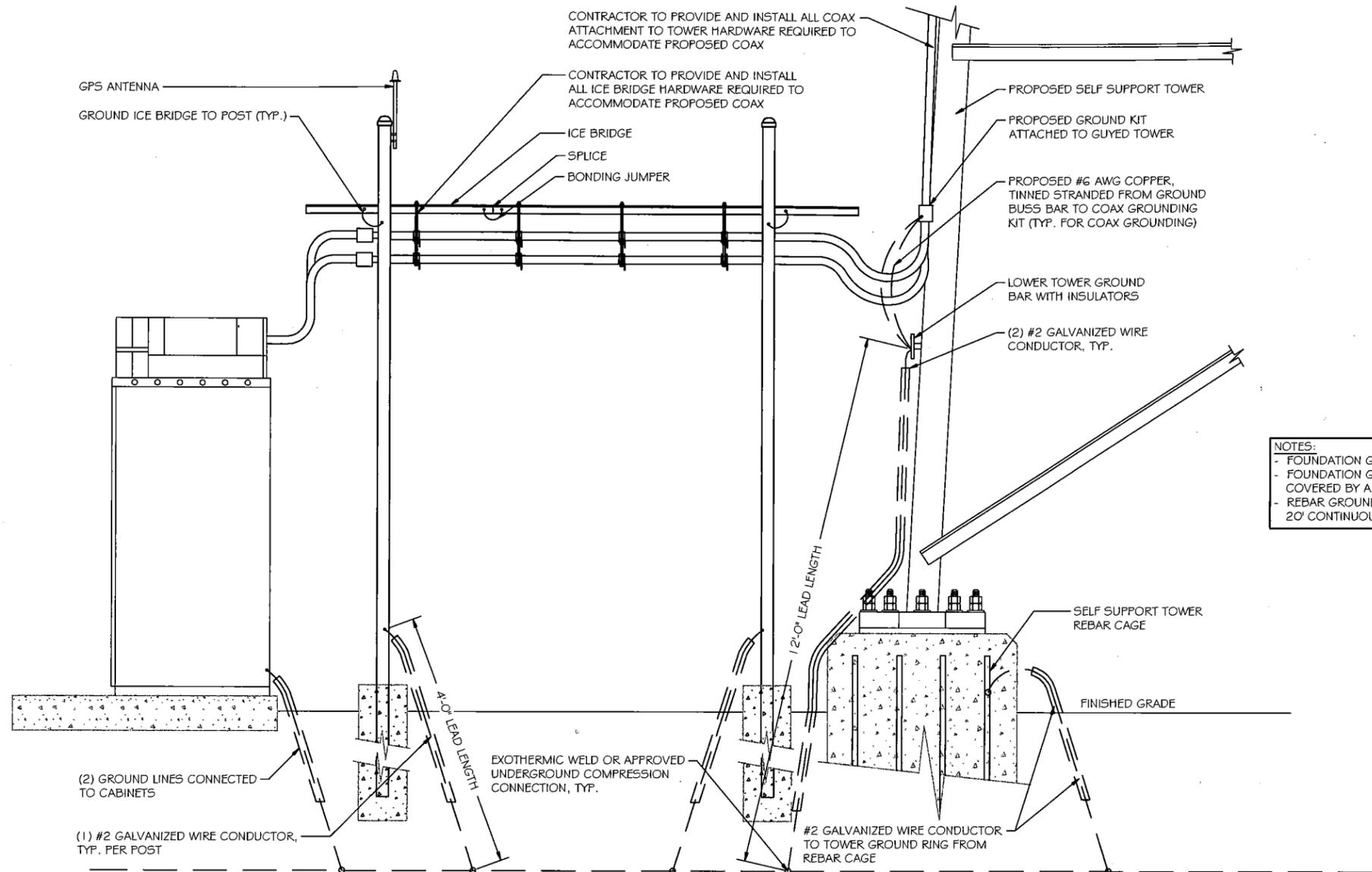


UTILITY PLAN  
 SCALE: 1" = 5'





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ANTENNA CABLE & ICE BRIDGE GROUNDING DIAGRAM  
 SCALE: NTS

NOTES:  
 - FOUNDATION GROUNDING PER NEC 250.52(3)(A).  
 - FOUNDATION GROUNDING CONNECTIONS TO BE COVERED BY A MINIMUM OF 3" OF CONCRETE.  
 - REBAR GROUNDING SHALL BE MADE TO A MIN. 20' CONTINUOUS REBAR IF POSSIBLE.

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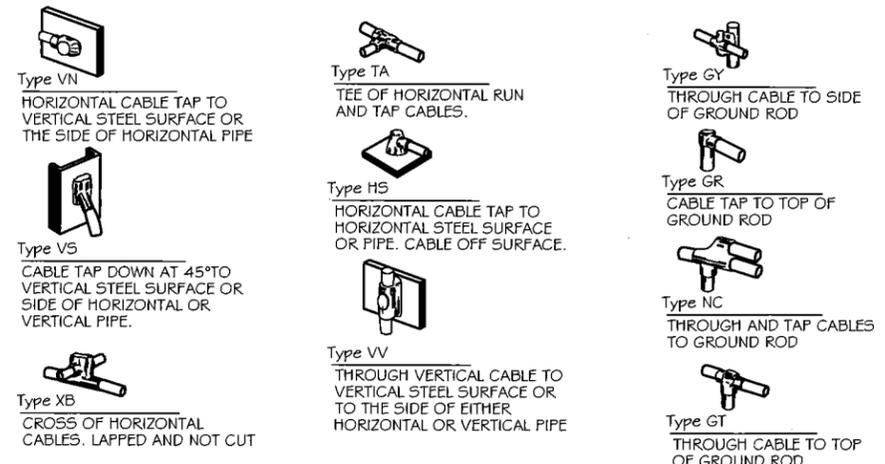
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Certification # Seal:

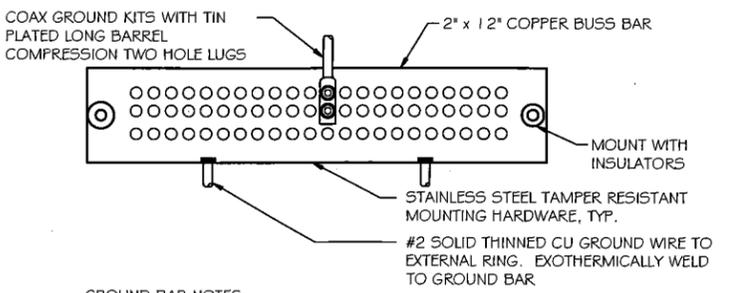
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 TAX ID# 8-405-0

SHEET TITLE:  
**GROUNDING DETAILS**  
 SCALE: NONE  
 PROJECT NUMBER: 42606  
 SHEET NUMBER: G-2

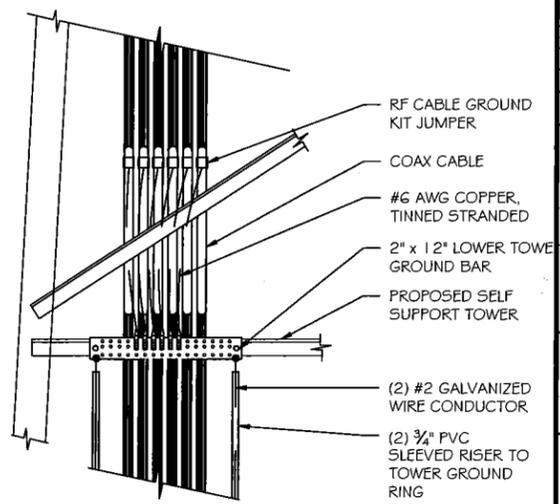


EXOTHERMIC WELD DETAILS  
 SCALE: NTS



- GROUND BAR NOTES:
1. ALL HARDWARE 8-88 STAINLESS STEEL INCLUDING BELLVILLES, COAT ALL SURFACES WITH KOPR-SHIELD BEFORE MATING.
  2. FOR GROUND BOND TO STEEL ONLY: INSERT A TOOTH WASHER BETWEEN LUG AND STEEL, COAT ALL SURFACES WITH KOPR-SHIELD.
  3. ALL HOLES ARE COUNTERSUNK 1/16".
  4. CONTRACTOR TO USE A THIN COAT OF ANTI-CORROSION GREASE AT THESE CONNECTIONS.
  5. DIMPLE OR MECHANICAL CRIMP LUGS WILL NOT BE PERMITTED.

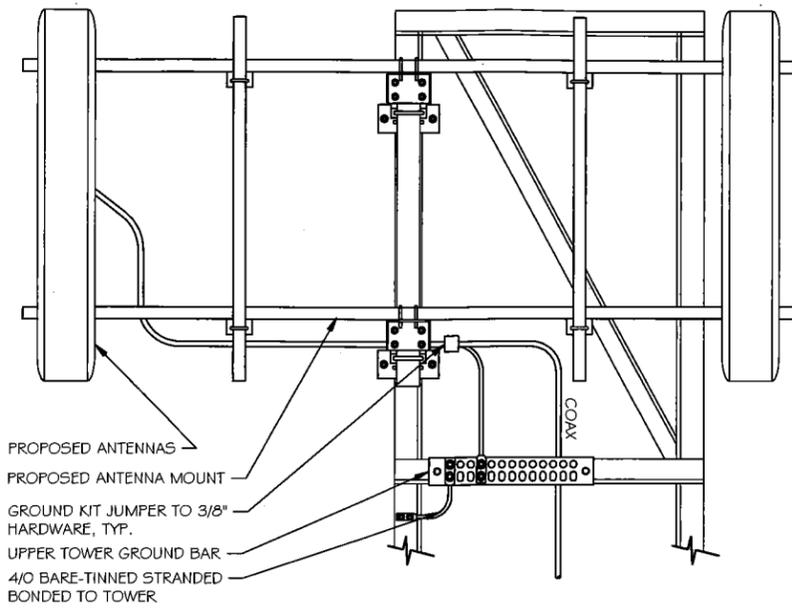
EXTERIOR GROUND BAR DETAIL  
 SCALE: NTS



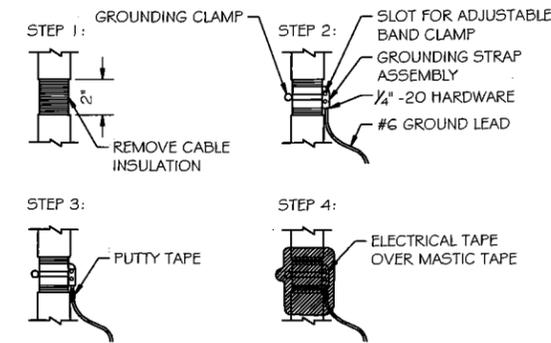
GROUNDING AT TOWER  
 SCALE: NTS

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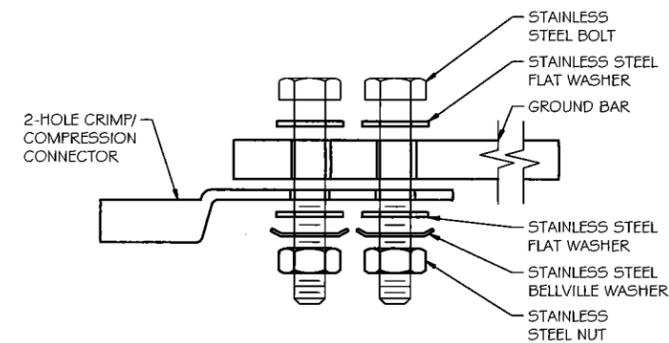
- NOTES:**
1. ALL HARDWARE (BOLTS, SCREWS, NUTS, WASHERS) SHALL BE 18-8 STAINLESS STEEL TYPE GRADE.
  2. CHOOSE BOLT LENGTH TO ALLOW A MIN. OF TWO THREADS EXPOSED.
  3. BURNISH MOUNTING SURFACE TO REMOVE PAINT IN THE AREA OF THE CONNECTOR.
  4. APPLY ANTI-OXIDANT COMPOUND TO MATING SURFACE OF CONNECTOR AND WIPE OFF EXCESS COMPOUND.
  5. OHMS TEST REQUIRED BY ELECTRIC CONTRACTOR PRIOR TO BACKFILL. RESULTS PROVIDED TO CLOUD-1/ INTELEGRA



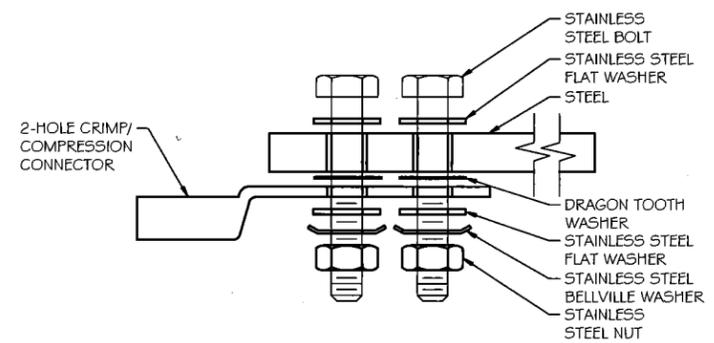
**ANTENNA GROUNDING**  
 SCALE: NTS ①



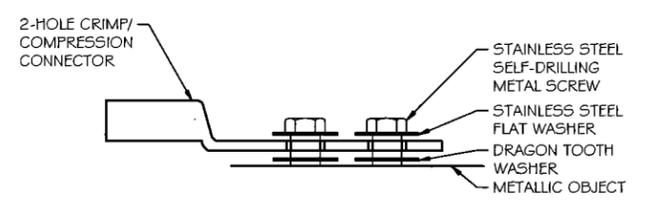
**COAXIAL CABLE GROUNDING**  
 SCALE: NTS ②



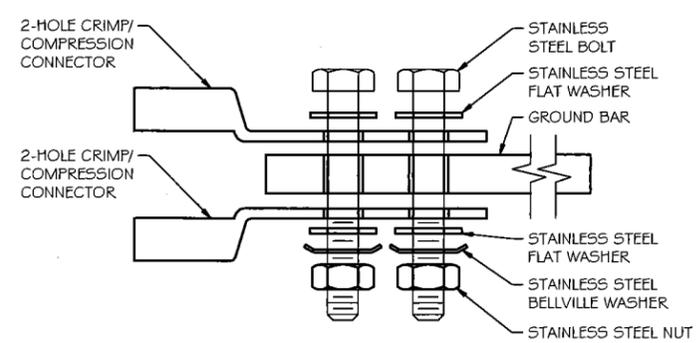
**SINGLE CONNECTOR AT GROUND BARS**



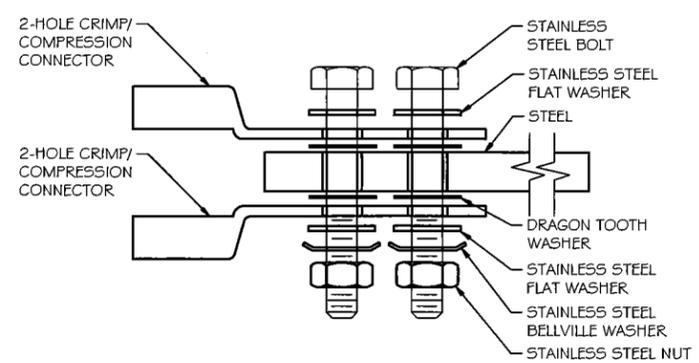
**SINGLE CONNECTOR AT STEEL OBJECTS**



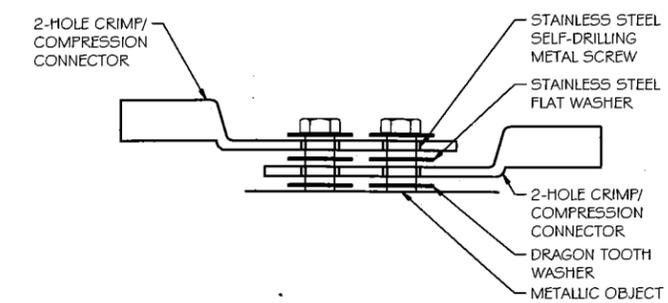
**SINGLE CONNECTOR AT METALLIC/STEEL OBJECTS**



**BACK TO BACK CONNECTORS AT GROUND BARS**



**BACK TO BACK CONNECTORS AT STEEL OBJECTS**



**BACK TO BACK CONNECTORS AT METALLIC/STEEL OBJECTS**

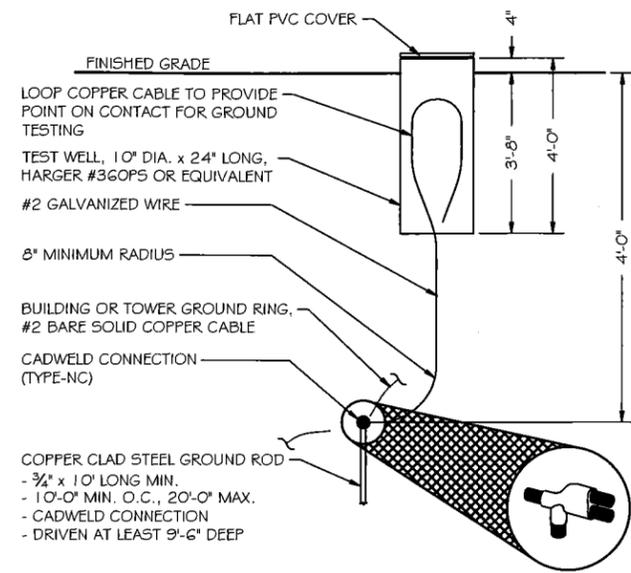
**CONNECTORS AND HARDWARE**  
 SCALE: NTS ③

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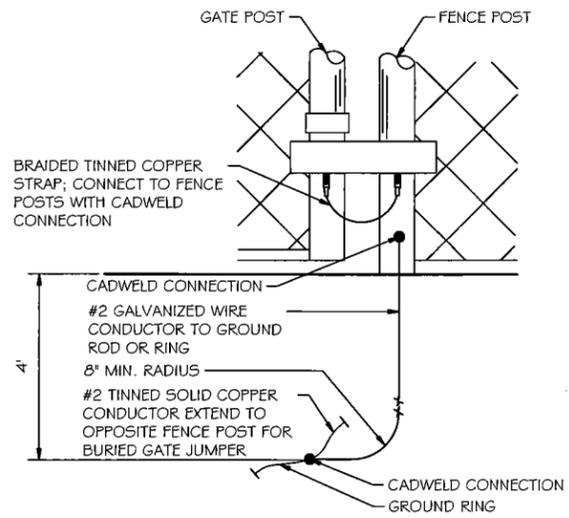


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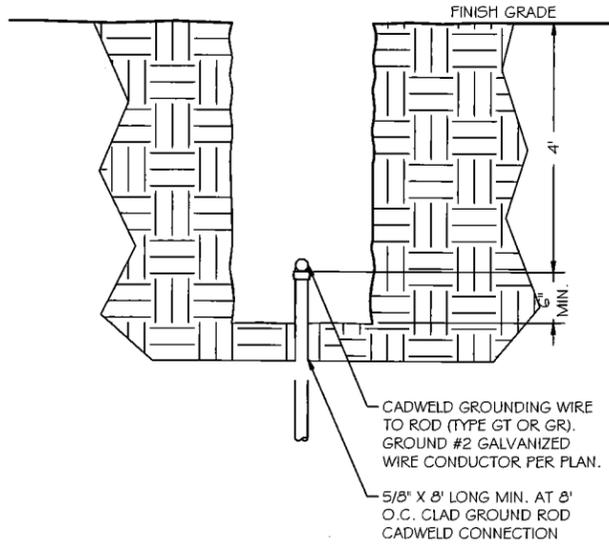
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| MARK  | DATE  | DESCRIPTION            |
| ISSUE PHASE   | FINAL | DATE ISSUED 05/28/2019 |
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| HOLMEN  |       |                        |
| PROJECT INFORMATION:<br>COUNTY ROAD HD<br>HOLMEN, WI 53636<br>LA CROSSE COUNTY<br>TAX ID# 8-405-0 |       |                        |
| SHEET TITLE:  |       |                        |
| GROUNDING DETAILS   |       |                        |
| SCALE: NONE   |       |                        |
| PROJECT NUMBER  | 42606 |                        |
| SHEET NUMBER  | G-3   |                        |



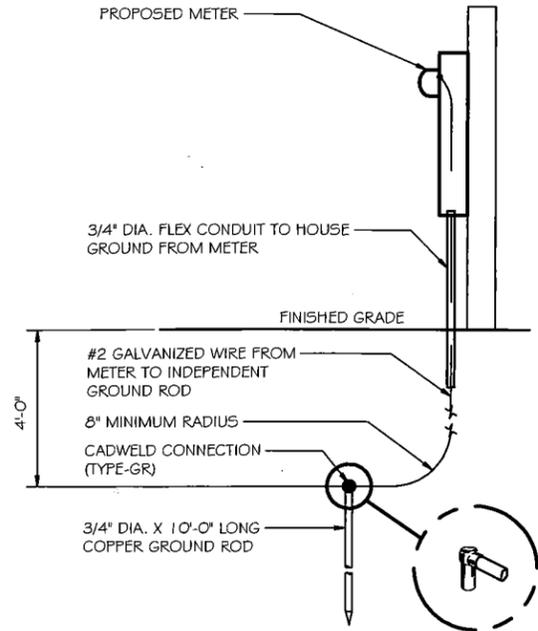
**GROUND TEST WELL**  
 SCALE: NTS



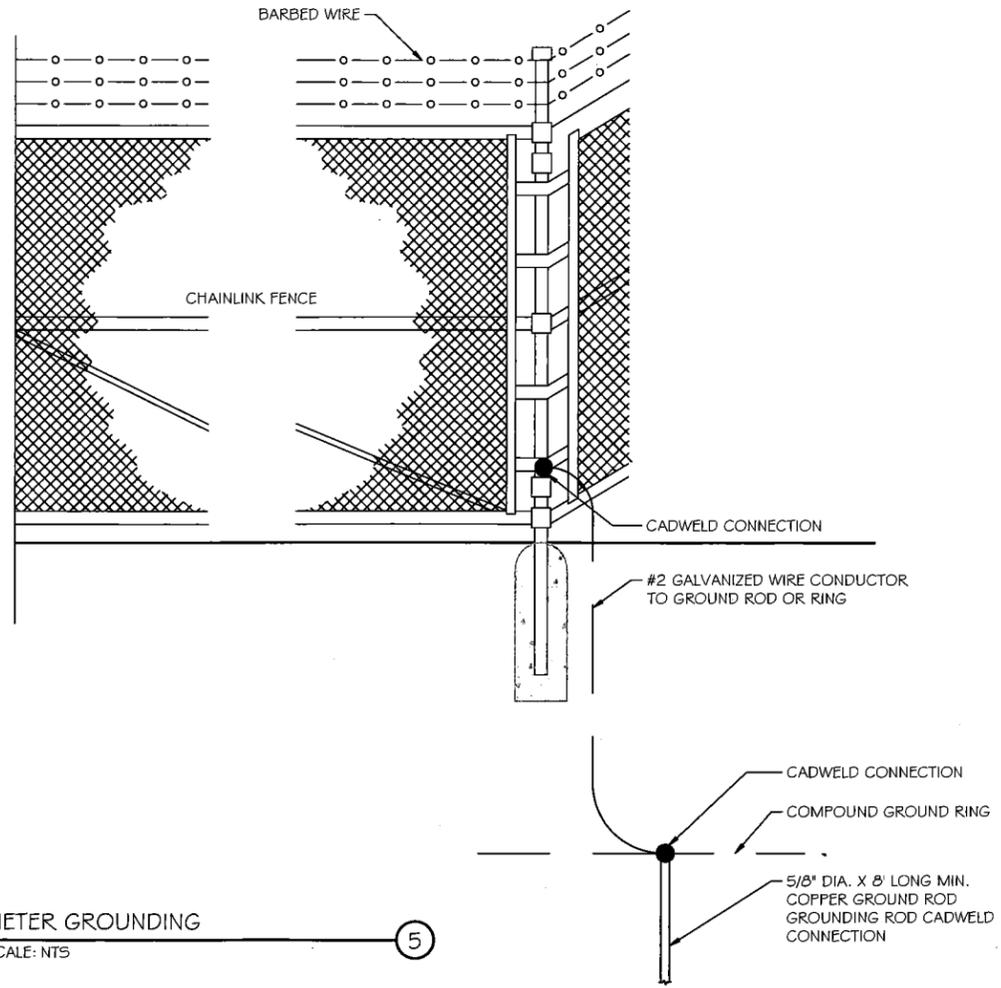
**GATE GROUNDING**  
 SCALE: NTS



**GROUND ROD**  
 SCALE: NTS



**METER GROUNDING**  
 SCALE: NTS



**METER GROUNDING**  
 SCALE: NTS

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PROJECT TITLE:  
**HOLMEN**

PROJECT INFORMATION:  
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 HOLMEN, WI 53636  
 LA CROSSE COUNTY  
 TAX ID# 8-405-0

SHEET TITLE:  
**GROUNDING DETAILS**

SCALE: NONE

PROJECT NUMBER: 42606  
 SHEET NUMBER: G-4

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# HOLMEN LUTHERAN CHURCH

## BUILDING ADDITION

### 228 MORRIS STREET

### HOLMEN, WI 54636

CONSTRUCTION EXPRESS INC  
411 LA CROSSE STREET  
LA CROSSE, WI 54601  
(608) 784-9290

HOLMEN LUTHERAN CHURCH  
BUILDING ADDITION  
228 MORRIS STREET  
HOLMEN, WI 54636

2

### STRUCTURAL NOTES

- DESIGN CODES - ( ALL LATEST EDITIONS )
  - AMERICAN CONCRETE INSTITUTE ( ACI )
  - CONCRETE REINFORCING STEEL INSTITUTE ( CRSI )
  - AMERICAN INSTITUTE OF STEEL CONSTRUCTION ( AISC )
  - NATIONAL CONCRETE MASONRY ASSOCIATION ( NCMA )
  - 2015 INTERNATIONAL BUILDING CODE
  - 2015 WISCONSIN BUILDING CODE
- DESIGN LIVE LOADS
  - ROOF = 33.8 PSF + APPLICABLE DRIFT LOADS (SEE SHT A102)
  - WIND = 20.2 PSF @ ROOF & WALLS
  - FLOOR = 100 PSF (LOBBIES & FIRST FLOOR CORRIDORS)
  - FLOOR = 80 PSF (CORRIDORS ABOVE FIRST FLOOR)
  - FLOOR = 50 PSF (OFFICES)
  - FLOOR = 40 PSF (CLASSROOMS)
  - FLOOR = 100 PSF (DINING & ASSEMBLY SPACES)
- SOIL
  - 2000 PSF - [ASSUMED]
  - 2000 PSF SAFE BEARING USED FOR DESIGN
  - FOOTINGS SHALL BEAR ON UNDISTURBED NATURAL SOIL OR COMPACTED ENGINEERED FILL. ENGINEERED FILL SHALL BE A WELL GRADED GRANULAR MATERIAL COMPACTED TO 98% STANDARD PROCTOR DENSITY.
- CAST-IN-PLACE CONCRETE
  - ARRANGEMENTS, BENDING, DETAILING AND SUPPORT OF REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ACI AND CRSI STANDARDS.
  - WHERE REINFORCING BARS ARE SHOWN CONTINUOUS LAP BARS #4-20', #5-24', #6-33'
  - REINFORCEMENT STEEL BARS - ASTM A615 GRADE 60 ( 60 KSI )
  - MAXIMUM SIZE OF AGGREGATE IS 1 1/2"
  - MAXIMUM SLUMP IS 3"

| COMPONENT                     | CONC STRENGTH @ 28 DAYS |
|-------------------------------|-------------------------|
| - BLOCK/MASONRY FILL          | 2500 PSI                |
| - FOOTINGS & FOUNDATION WALLS | 3500 PSI                |
| - INTERIOR & EXTERIOR SLABS   | 4000 PSI                |
- MASONRY
  - MASONRY BLOCK UNITS - NORMAL WEIGHT
  - MORTAR TO BE TYPE S - CONFORMING TO ASTM C270
  - INSTALL FLASHINGS AT BASE & ALL OPENINGS
  - INSTALL BLOCK ANCHORS 48" VERT TO COLUMNS
  - INSTALL WEEP HOLES AT 48" VERT

3

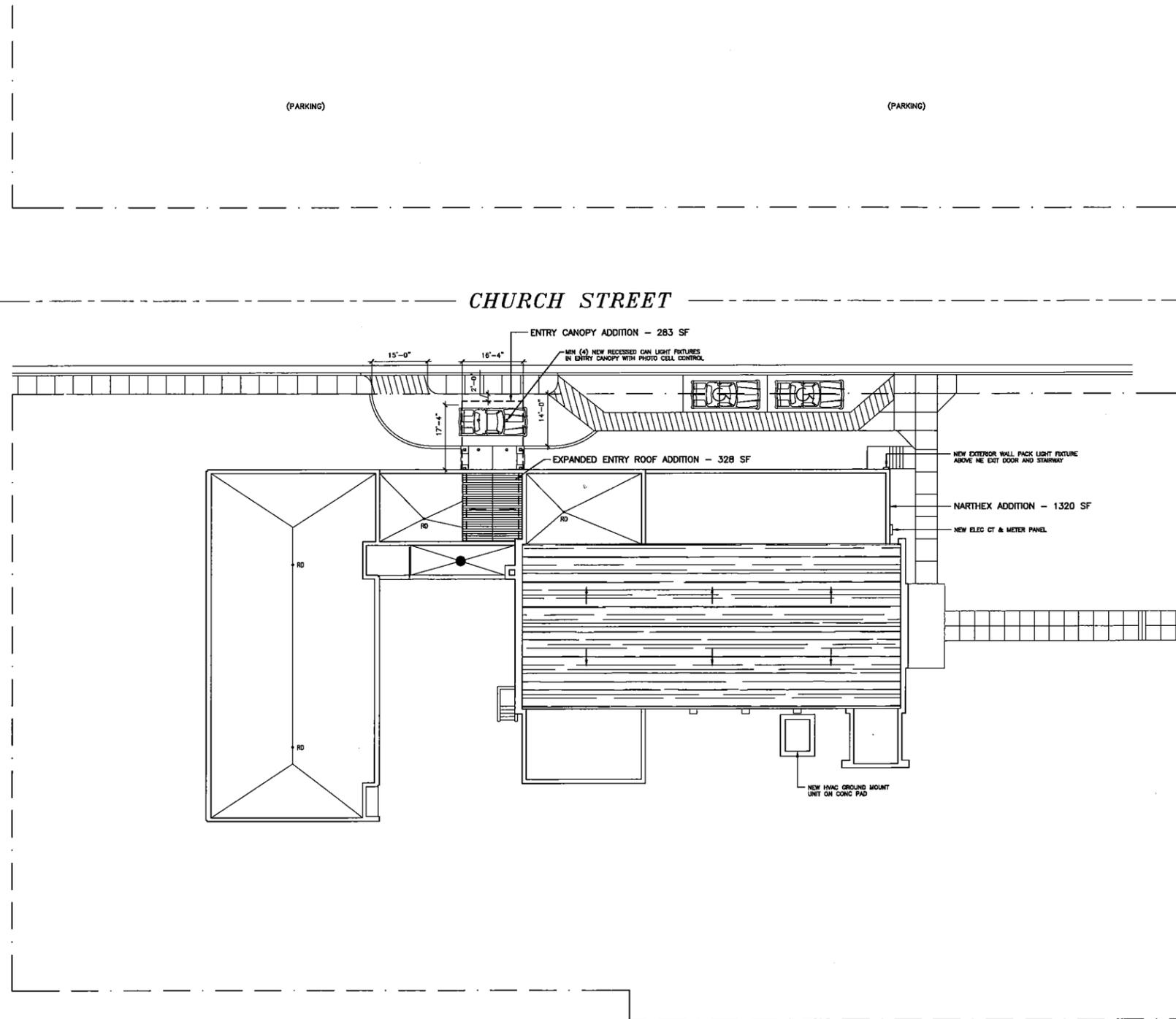
### CODE INFORMATION

- 2015 INTERNATIONAL COMMERCIAL BUILDING CODE
- USE & OCCUPANCY CLASSIFICATION:  
PRIMARY USE:  
303.4 ASSEMBLY GROUP A-3 - CHURCH | WORSHIP
- BUILDING HEIGHTS & AREAS: (TABLE 504.4 & 506.2)  
ASSEMBLY GROUP A-3  
MAXIMUM HEIGHT = 2 STORES  
MAXIMUM AREA/FLOOR = 8,500 SF (NON-SPRINKLERED)
- TYPE OF CONSTRUCTION: (TABLE 503)  
II-B
- FIRE PROTECTION SYSTEMS: (CHAPTER 9)  
903.2.1.3 GROUP A-3  
A NFPA 13 AUTOMATIC SPRINKLER SYSTEM IS NOT REQUIRED AND WILL NOT BE INSTALLED.  
A NFPA 13 AUTOMATIC SPRINKLER SYSTEM IS REQUIRED WHERE ONE OF THE FOLLOWING CONDITIONS EXISTS:  
1. THE FIRE AREA EXCEEDS 12,000 SF.  
2. THE FIRE AREA HAS AN OCCUPANT LOAD OF 300 OR MORE.  
3. THE FIRE AREA IS LOCATED ON A FLOOR OTHER THAN A LEVEL OF EXIT DISCHARGE SERVING SUCH OCCUPANCIES.
- FIRE RESISTIVE RATINGS: (TABLE 601)  
STRUCTURAL FRAME-COLUMNS, BRACES, TRUSSES: 0-NR HR RATING  
EXTERIOR BEARING WALLS - >30 FT (TABLE 602): 0-NR HR RATING  
INTERIOR BEARING WALLS: 0-NR HR RATING  
FLOOR BEAMS & JOISTS: 0-NR HR RATING  
ROOF BEAMS & JOISTS: 0-NR HR RATING  
INTERIOR PARTITIONS: 0-NR HR RATING  
RECYD EXIT CORRIDORS (TABLE 1016.1): 0-NR W/ SPRINKLER  
VERTICAL SHAFTS/STAIRWAYS (1022.2): 1-HR < 4 STORES  
EXTERIOR WALLS >30 FT (TABLE 602 1-9): 0-NR HR RATING  
DOOR ASSEMBLIES: (SEE TABLE 716.5)
- EXIT DISTANCE: (TABLE 1017.2)  
MAXIMUM = 200 FT (WITHOUT AUTOMATIC SPRINKLER SYSTEM)
- OCCUPANT LOAD: (TABLE 1004.1.2)  
(SEE SHEET A002 FOR CALCULATED OCCUPANCY LOAD)
- NEW ADDITION BUILDING OCCUPANTS:  
(BUILDING ADDITIONS TO IMPROVE CIRCULATION SPACE ONLY)
- MEANS OF EGRESS: (1005.3)  
(SEE SHEET A002 FOR CALCULATED EXIT WIDTHS)  
2 EA 36 IN EXIT DOORS PROVIDED = 72 INCHES OF EGRESS WIDTH
- SANITARY FACILITIES: (TABLE 2902.1)  
(SEE SHEET A002 FOR CALCULATED FIXTURE REQUIREMENTS)
- NEW FACILITIES PROVIDED:  
UNISEX RESTROOMS - 3 TOILETS  
- 3 LAVATORIES  
JANITOR - 1 MOP SINK

4

### DRAWING INDEX

| NO   | DESCRIPTION                        |
|------|------------------------------------|
| A001 | SITE PLAN, CODE & STRUCT INFO      |
| A002 | CODE ANALYSIS                      |
| A100 | EXISTING & DEMO LOWER FLOOR PLAN   |
| A101 | EXISTING MAIN FIRST FLOOR PLAN     |
| A102 | REMODELED MAIN FIRST FLOOR PLAN    |
| A200 | BUILDING ELEVATIONS                |
| A201 | BUILDING ELEVATIONS                |
| A300 | BUILDING   WALL SECTIONS & DETAILS |
| A301 | BUILDING   WALL SECTIONS & DETAILS |
| A400 | BLDG ADDITION FOUNDATION PLAN      |
| A401 | BLDG ADDITION FLOOR FRAMING PLAN   |
| A402 | BLDG ADDITION ROOF FRAMING PLAN    |



1 SITE | LOCATION PLAN | ROOF PLAN  
1/16" = 1'-0"

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATIONS, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER IN THE STATE OF WISCONSIN.

DESIGNED: \_\_\_\_\_  
DATE: \_\_\_\_\_  
DRAWN: \_\_\_\_\_

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JOB # 19011

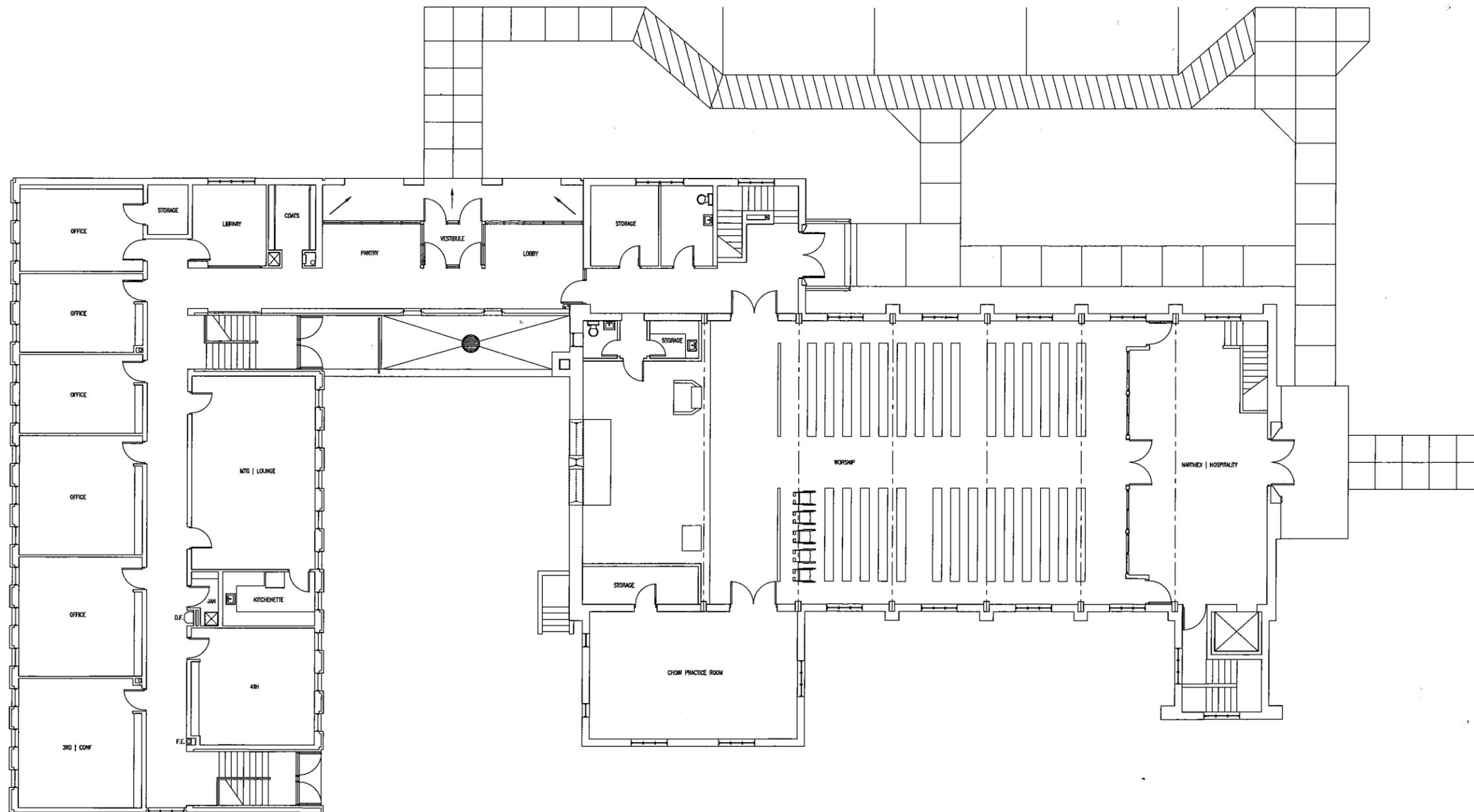
JULY 15, 2019

REVISIONS

PLOT 1/16"=1'-0"

SITE PLAN  
STRUCTURAL INFO  
CODE INFO

**A001**



1 EXISTING MAIN FIRST FLOOR PLAN  
 1/8" = 1'-0" 

CONSTRUCTION  
 EXPRESS INC  
 411 LA GROSSE STREET  
 LA GROSSE, WI 54601  
 (608) 784-9290

HOLMEN LUTHERAN CHURCH  
 BUILDING ADDITION  
 228 MORRIS STREET  
 HOLMEN, WI 54636

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATIONS, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL UNDER THE LAWS OF THE STATE OF

DRAWN: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 NUMBER: \_\_\_\_\_

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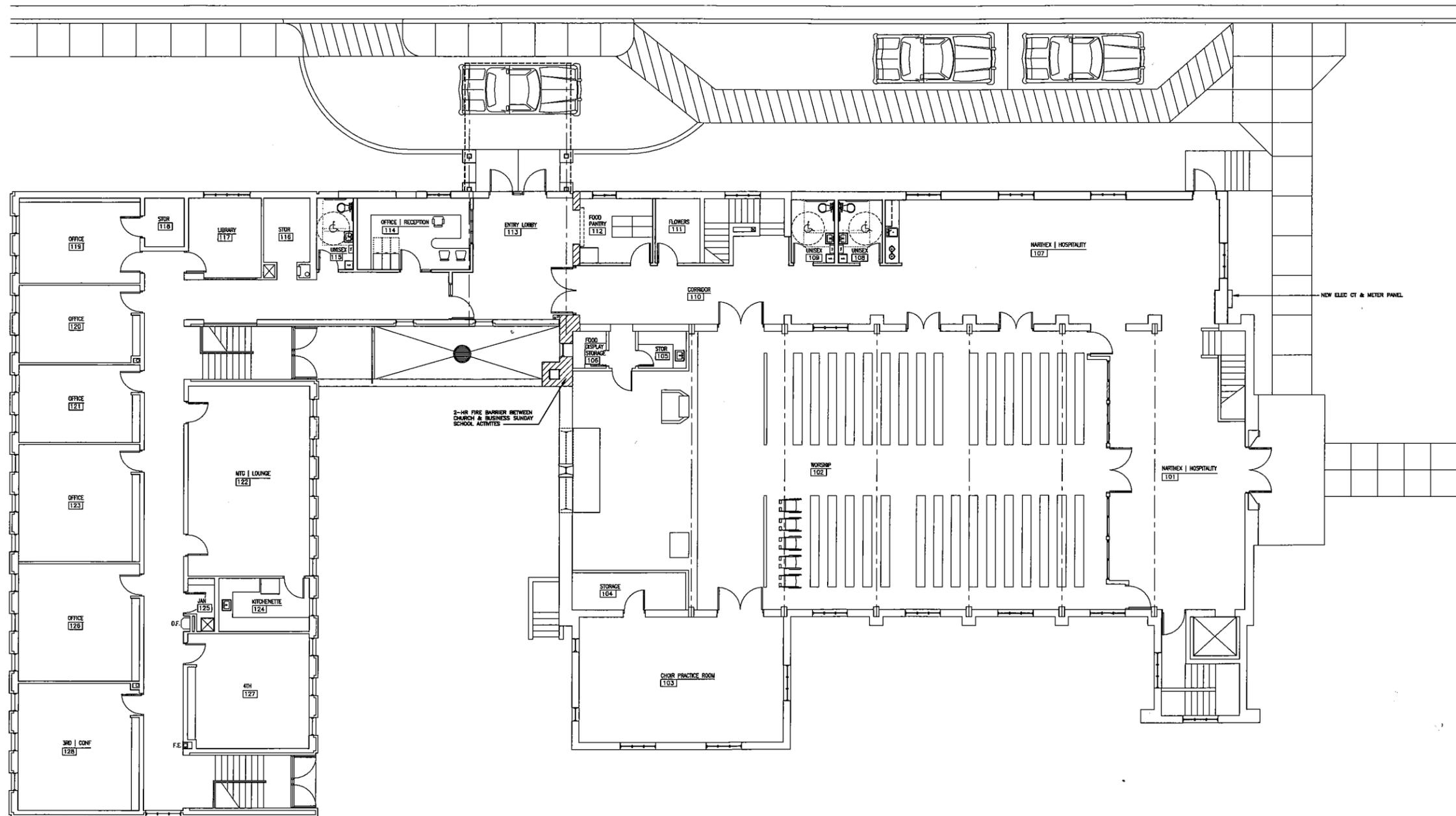
JULY 15, 2019

REVISIONS

PLOT 1/8" = 1'-0"

EXISTING MAIN  
 FIRST FLOOR PLAN

**A101**



1 REMODELED MAIN FIRST FLOOR PLAN  
 1/8" = 1'-0"



CONSTRUCTION  
 EXPRESS INC  
 411 LA CROSSE STREET  
 LA CROSSE, WI 54601  
 (608) 784-9290

HOLMEN LUTHERAN CHURCH  
 BUILDING ADDITION  
 228 MORRIS STREET  
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DESIGNED BY \_\_\_\_\_  
 DATE \_\_\_\_\_  
 NUMBER \_\_\_\_\_

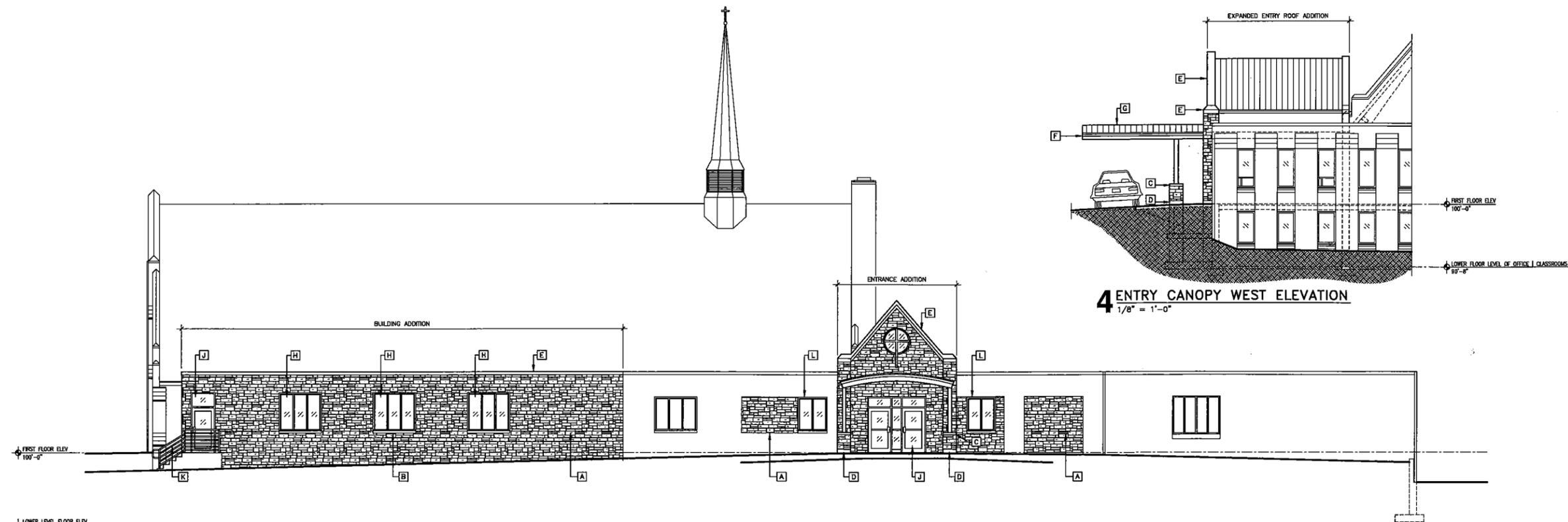
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JOB # 19011  
 JULY 15, 2019  
 REVISIONS

PLOT 1/8" = 1'-0"

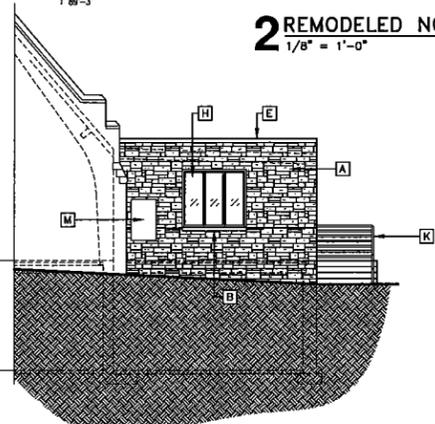
REMODELED MAIN  
 FIRST FLOOR PLAN

**A102**



**4 ENTRY CANOPY WEST ELEVATION**  
 1/8" = 1'-0"

**2 REMODELED NORTH ELEVATION**  
 1/8" = 1'-0"



**3 REMODELED EAST ELEVATION**  
 1/8" = 1'-0"



**1 EXISTING NORTH ELEVATION**  
 1/8" = 1'-0"

**5 EXTERIOR FINISHES**

| MARK | ITEM                          | SPECIFICATION  | REMARKS  |
|------|-------------------------------|--|--|
| A    | RUSTIC STONE COURSES          | ROUGH-OUT RANDOM-SIZED LT BUFF COLORED STONE COURSES   | COLOR - MATCH EXISTING STONE SYSTEM IN SIZE, COLOR & TEXTURE |
| B    | STONE ACCENT SILL             | 4" HIGH INDIANA LIMESTONE WINDOW SILL COURSE   | COLOR - NATURAL LT GREY   WHITE                              |
| C    | STONE ACCENT CAP              | 4" HIGH INDIANA LIMESTONE COLUMN PIER CAP COURSE   | COLOR - NATURAL LT GREY   WHITE                              |
| D    | STONE ACCENT BASE             | 6" HIGH INDIANA LIMESTONE COLUMN PIER BASE COURSE  | COLOR - NATURAL LT GREY   WHITE                              |
| E    | STONE ACCENT CAP              | SPECIAL INDIANA LIMESTONE WALL CAP COURSE WITH METAL CAP FLASHING                                    | COLOR - NATURAL LT GREY   WHITE                              |
| F    | CAP/FASCIA FLASHING           | PREFINISHED 24 GA STEEL WITH KYNAR 500 FINISH  | COLOR - LT TAN/GRAY TO MATCH EXISTING STONE & CAP FLASHING   |
| G    | METAL STANDING SEAM ROOF      | PREFINISHED STANDING SEAM METAL ROOF PANELS WITH KYNAR 500 FINISH                                    | COLOR - MEDIUM BRONZE TO MATCH EXISTING ROOF                 |
| H    | EXISTING EXTERIOR WINDOW      | REMOVE EXISTING EXTERIOR WINDOW AND REINSTALL AT NEW EXTERIOR FACADE LOCATION                        | REPAIR AND REFINISH AS REQUIRED FOR REINSTALLATION           |
| J    | NEW ALUM DOOR ENTRANCE SYSTEM | TINTED INSULATED GLASS ALUM DOORS, TRANSOMS AND SIDELIGHTS   | COLOR - CHAMPAGNE  |
| K    | PAINTED STEEL TUBE GUARDRAILS | SAFETY GUARDRAILS AT EXIT STAIRWAY   | COLOR - MEDIUM BRONZE  |
| L    | ALUMINUM CLAD WINDOWS         | NEW ALUM CLAD FIXED WOOD WINDOWS W/ 1" LOW E, TINTED, THERMAL GLASS WINDOWS - MATCH EXISTING WINDOWS | COLOR - CHAMPAGNE  |
| M    | ELECTRIC PANEL                | NEW ELECTRIC CT & METER PANEL  | COLOR - LT TAN/GRAY TO MATCH EXISTING STONE & CAP FLASHING   |

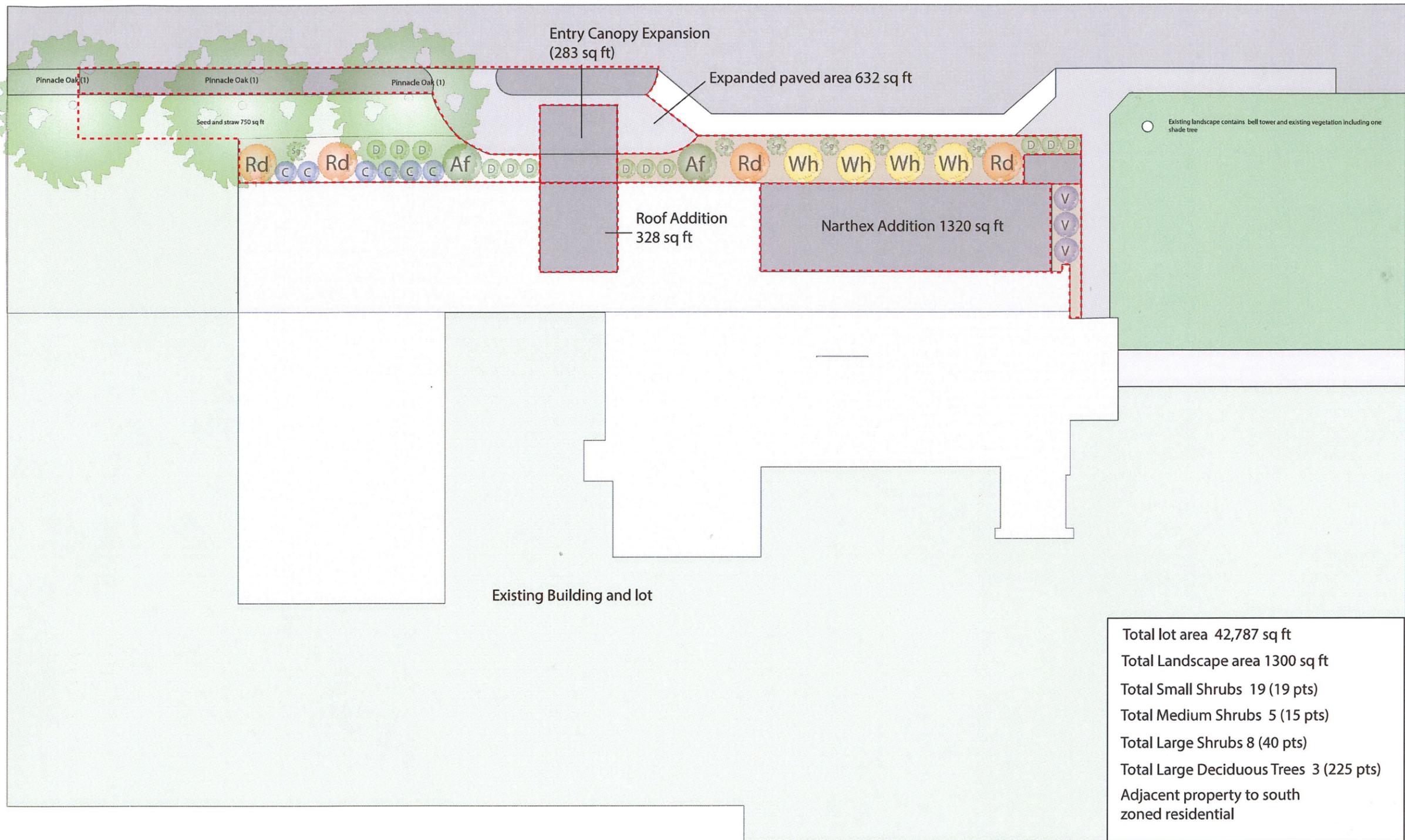
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DESIGNED: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
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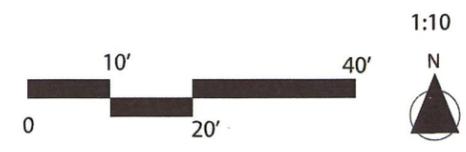
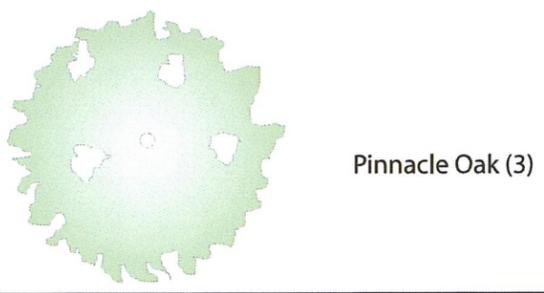
JOB # 19011  
 JULY 15, 2019  
 REVISIONS

PLOT 1/8" = 1'-0"  
 BLDG ELEVATIONS



Total lot area 42,787 sq ft  
 Total Landscape area 1300 sq ft  
 Total Small Shrubs 19 (19 pts)  
 Total Medium Shrubs 5 (15 pts)  
 Total Large Shrubs 8 (40 pts)  
 Total Large Deciduous Trees 3 (225 pts)  
 Adjacent property to south  
 zoned residential

- Switchgrass (7)
- Dwarf Bush Honeysuckle (19)
- Black Chokeberry (6)
- Area of construction
- Withered Viburnum (3)
- American Filbert (2)
- Red Osier Dogwood (5)
- Witchhazel (3)



Design  
07/11/2019

Holmen Lutheran Church  
228 Morris Street  
Holmen WI



